



I 3.1 AS-BUILT DRAWINGS

Please note that all drawings below are hyperlinked to the drawings listed in the below register. Please click on the drawing title to go directly to the drawing you wish to view.

Drawing Register: UMC Architects

ARCHITECTS

DRAWING NUMBER	DRAWING TITLE	REV
P23025-UMC-00-XX-DR-A-1302	Detailed Elevations	CR1
P23025-UMC-00-ZZ-DR-A-1601	Office WC Elevations	CR1
P23025-UMC-00-ZZ-DR-A-1602	Office WC and Cleaners Store Elevations	CR1
P23025-UMC-BR-00-DR-A-1001	Overall Ground Floor Plan	CR1
P23025-UMC-BR-00-DR-A-1012	Pop Up Setting Out	CR1
P23025-UMC-BR-00-DR-A-1203	Wall Types	CR1
P23025-UMC-BR-00-DR-A-1609	AED Setting Out	CR1
P23025-UMC-BR-00-DR-A-1610	Petrol Interceptor Setting Out	CR1
P23025-UMC-BR-01-DR-A-1604	Reception Elevations	CR1
P23025-UMC-BR-RL-DR-A-1003	Roof Plan	CR1
P23025-UMC-BR-ZZ-DR-A-1002	Office Plans	CR1
P23025-UMC-BR-ZZ-DR-A-1101	Overall Sections	CR1
P23025-UMC-BR-ZZ-DR-A-1102	Office Sections	CR1
P23025-UMC-BR-ZZ-DR-A-1110	Main Entrance Stair	CR1
P23025-UMC-BR-ZZ-DR-A-1112	Lift Shaft Details	CR1
P23025-UMC-BR-ZZ-DR-A-1120	Level Access Door Details	CR1
P23025-UMC-BR-ZZ-DR-A-1121	Dock Leveller Door Details	CR1
P23025-UMC-BR-ZZ-DR-A-1131	Typical Details 1	CR1
P23025-UMC-BR-ZZ-DR-A-1201	Office Ceiling Plans	CR1
P23025-UMC-BR-ZZ-DR-A-1202	Office Wall Types	CR1
P23025-UMC-BR-ZZ-DR-A-1210	Office Floor Types	CR1
P23025-UMC-BR-ZZ-DR-A-1301	Elevations	CR1
P23025-UMC-BR-ZZ-DR-A-1303	Building Signage Details	CR1
P23025-UMC-BR-ZZ-DR-A-1603	Office Oasis Elevations	CR1
P23025-UMC-BR-ZZ-DR-A-1605	Internal Protection Drawing	CR1

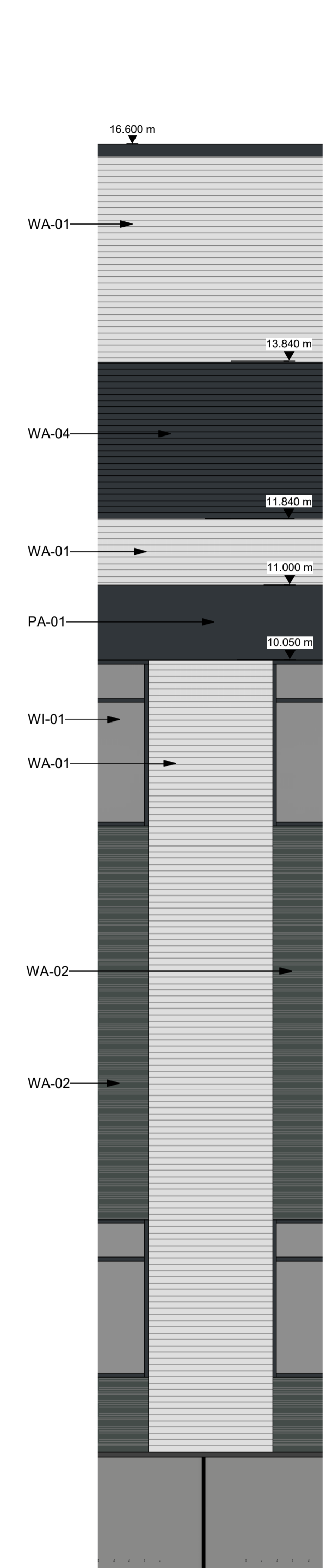


DRAWING NUMBER	DRAWING TITLE	REV
P23025-UMC-BR-ZZ-DR-A-1902	Hea 01 - Daylighting and View Out	CR1
P23025-UMC-EX-00-DR-A-0601	Site Layout	CR1
P23025-UMC-EX-00-DR-A-0704	Fence Details	CR1
P23025-UMC-EX-00-DR-A-0707	External Protection Details	CR1
P23025-UMC-EX-00-DR-A-1901	Hea 07 - Outside space	CR1
P23025-UMC-EX-00-DR-A-1903	Tra 02 - Sustainable Transport Measures	CR1
P23025-UMC-EX-00-DR-A-1904	LE 01 - Site Selection	CR1
P23025-UMC-EX-00-DR-A-1908	Mat 05-Designing for durability & resilience - Roof Access & Construction Details	CR1
P23025-UMV-BR-ZZ-DR-A-1907	Mat 01 - Building life cycle assessment - Superstructure	CR1

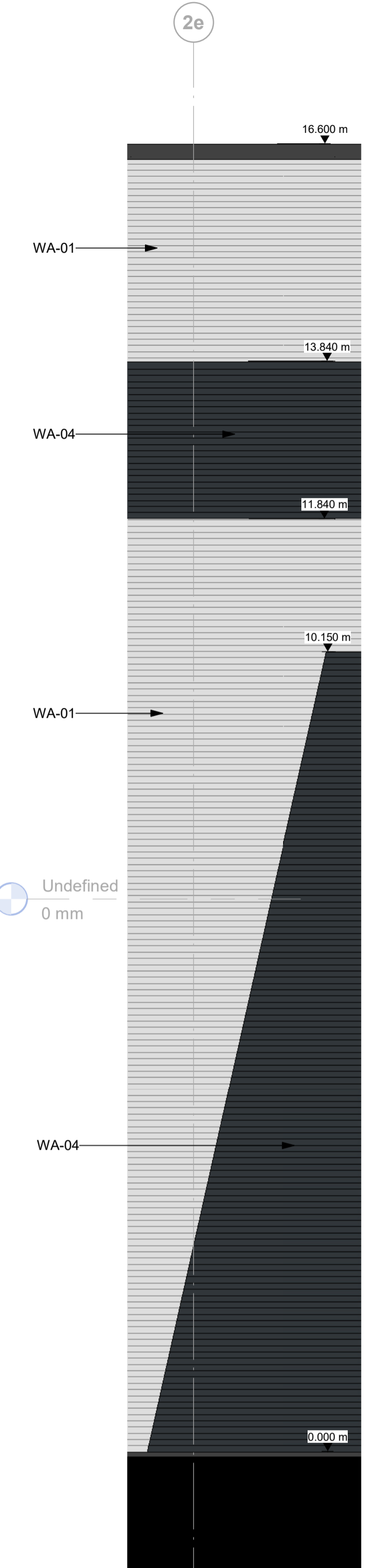
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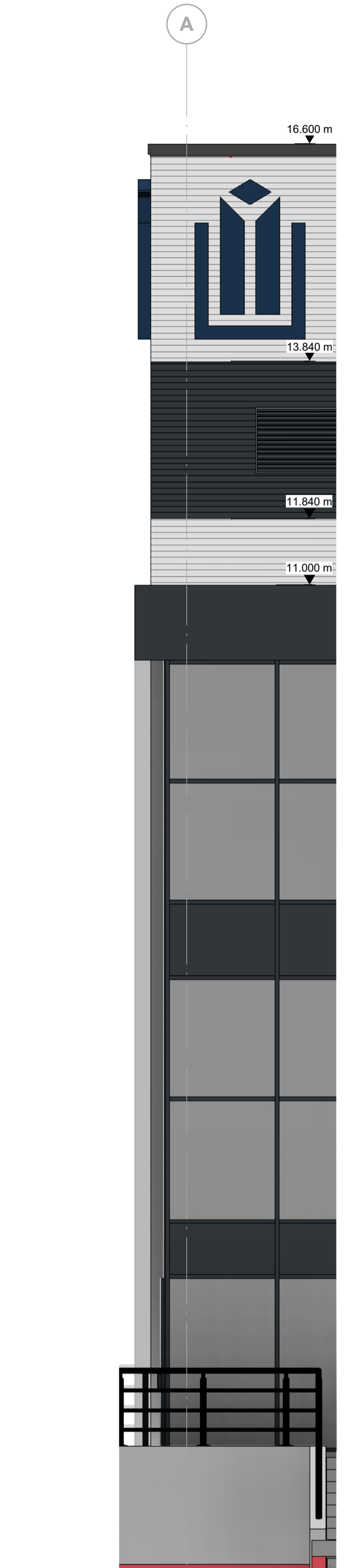
South West Elevation - Callout 1
1 : 50



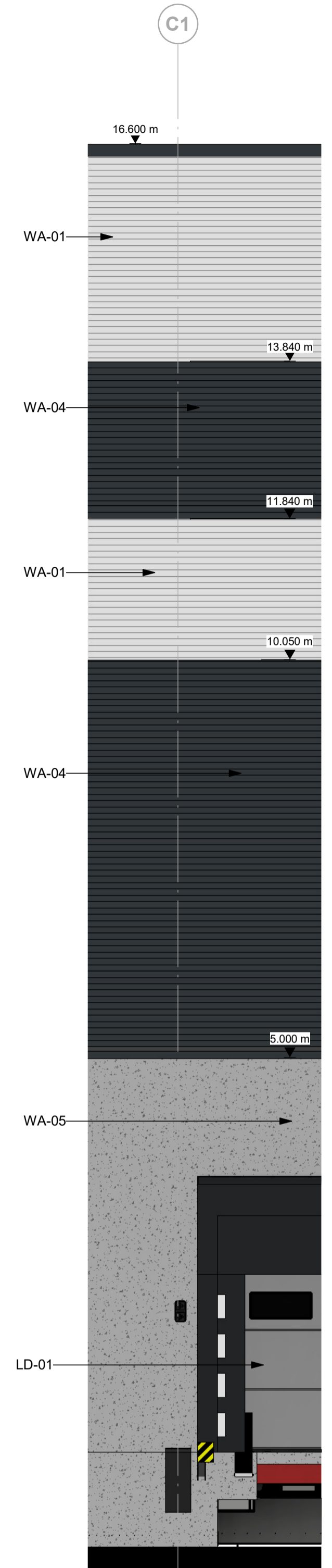
South West Elevation - Callout 2
1 : 50



North West Elevation - Callout 3
1 : 50



North East Elevation - Callout 4
1 : 50



North East Elevation - Callout 5
1 : 50



Example Elevation

Detailed Elevations Key	
LD-01	Loading Dock Door Colour: Silver (RAL 9006)
PA-01	PPC aluminium feature flashing/ capping detail Colour: Anthracite (RAL 7016)
RH-01	Bilco Companionway Access Roof Hatch CS-50TB with BiGuard 2.0 Hatch Railing system. Accessed via a ships ladder.
WA-01	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish - Prism Solid Colour Colour: Hamlet (RAL 9002)
WA-02	Horizontally laid CA Twin-Therm Micro Rib Built Up Cladding Finish - Prism Solid Colour Colour: Slate Grey (RAL 7012)
WA-04	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish: Prism Solid Colour Colour: Anthracite (RAL 7016)
WA-05	Concrete Prowall System
WI-01	Glazing system & framing Colour: Anthracite (RAL 7016)

Proposed Cladding Colours



Built up cladding system, 32/1000W profile horizontally laid, colour: Ral 9002 Hamlet
 Built up cladding system, 32/1000W profile horizontally laid, colour: Ral 7016 Anthracite

CR1	Construction Record Issue	LK	SW	27.08.24
P01	Issued for condition 9 (Samples of Materials)	SW	LK	29.02.24
rev	amendments	by	ckd	date

Horton Road, Poyle
 Detailed Elevations

Information Container LOIN

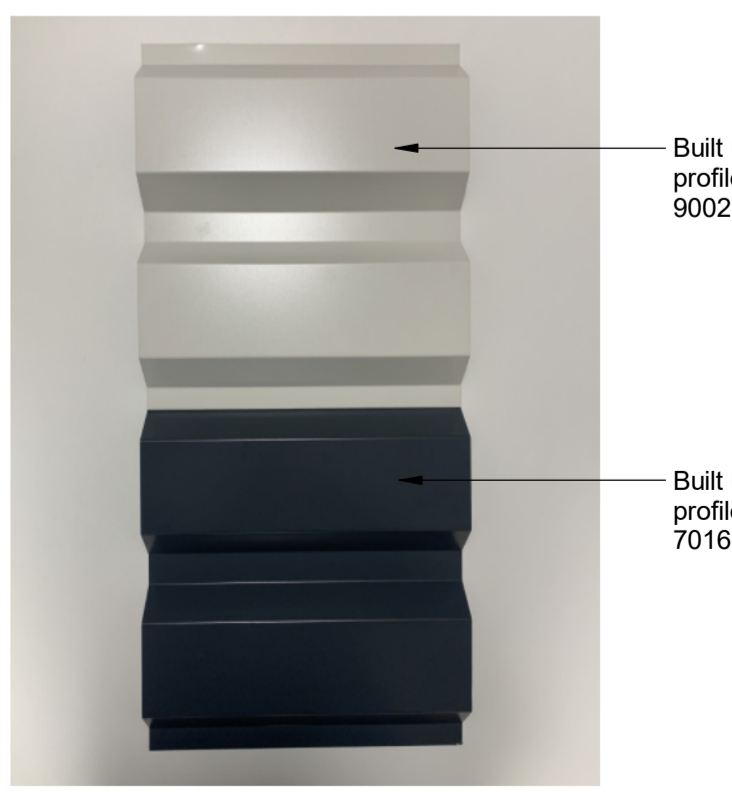
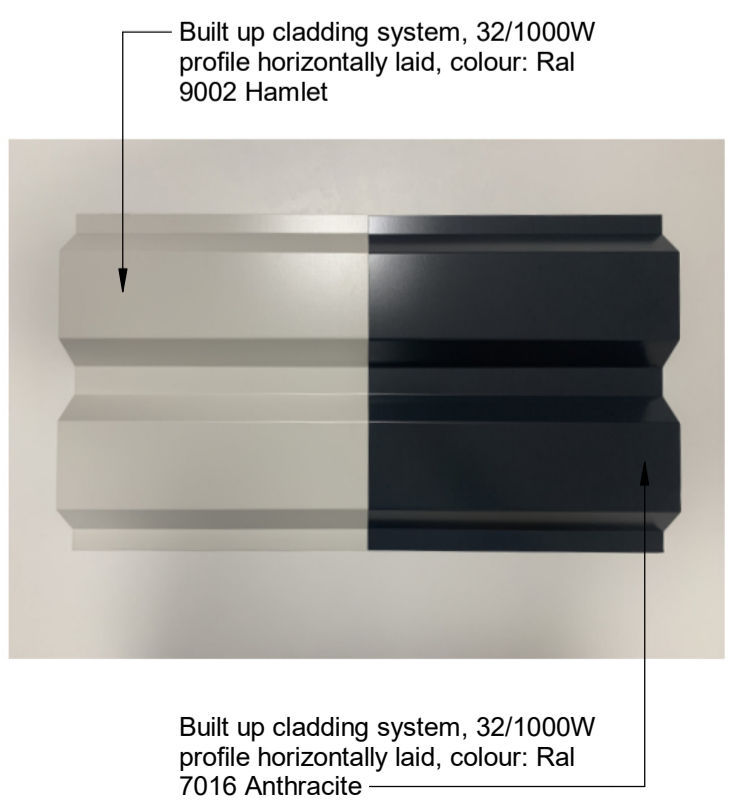
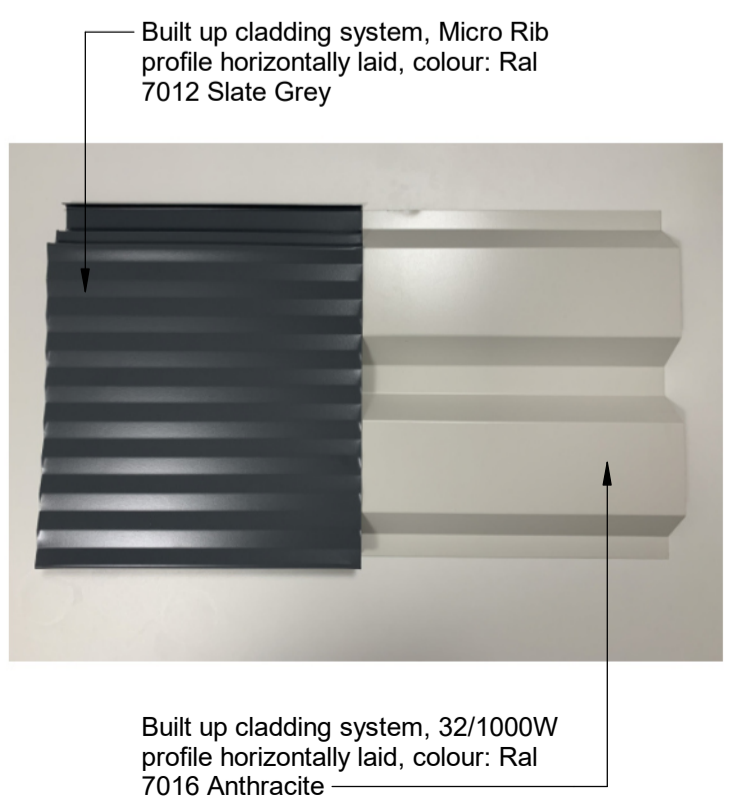
LOD 4	LOI 2
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RIBA PoW Stage: Stage 4 - Detailed Design
 Suitability / Status: CR
 Drawn / Checked: SW/LK
 Date: 29/02/24
 Scale: As indicated @ A1
 UMC Project Number: 22400
 Document Reference: Drawing no: 1302 Revision: CR1
 P23025_UMC_00_XX_DR_A_1302 CR1



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Key

CEILING FINISHES

C02
 600x600mm wide Zentia Aruba tiles in lay-in grid system. 95% relative humidity rating.

C03
 Dulux Absolute White vinyl matt emulsion painted moisture-resistant plasterboard ceiling above WC cubicles and wash basins.

FLOOR FINISHES

F03
 600mmx600mm Johnson Tiles Minerals Range MIN05G Slate Grip;

Skirting (S03)
 600mmx100mm Johnson Tiles Minerals Range MIN05N Slate Natural.

F05
 200mmx200mmx8.3mm ceramic floor tiles Johnson Tiles Kerastar KER558 'Clay Speckle' Natural;

Skirting (S02)
 200mmx100mmx8.3 Johnson Tiles Kerastar KER558 Clay Speckle Natural.

WALL FINISHES

W01
 Plaster/ dry lined and fully sealed. Painted with one mist coat and two coats Dulux Trade Diamond Matt emulsion paint BS4800 22B15 'Swansdown'.

W02
 Main Wall Tiles: 600mmx300mm Johnson Tiles Minerals Range MIN02N Dolomite Natural, laid/ fixed landscape format;

W04
 Feature Wall Tiles: 600mmx100mm Johnson Tiles Minerals Range MIN05N Slate Natural, laid/ fixed landscape format;

W06
 Full height IPS to WCs, Urinals and vanity units. Refer to specification for further details.

SANITARYWARE

SA02
 Armitage Shanks single china bowl urinals with concealed traps and cistern within proprietary IPS panel system.

SA03
 Washbasins to toilets will be c565mm x c420mm Armitage Shanks self rimming basins with chrome finished water saving mixer push taps with aerated outlets, and will be fitted into plastic laminate covered blockboard vanity units.

SA04
 Cleaner's sink mounted on proprietary IPS panel system with bucket stand, will be provided with hot and cold water services.

SA05
 Armitage Shanks 'back to wall' wc suites will be provided with soft-close plastic seat and cover and dual flush plastic cistern located behind proprietary IPS panel system.

SA06
 750mm(h) x 400mm(w) (minimum size) mirrors with concealed fixings to the walls above the wash hand basins in all toilet areas.

FOR IPS DETAILS REFER TO TLS LATEST CONSTRUCTION RECORD/ AS-BUILT DRAWINGS

CR1	Construction Record Issue	LK	SW	27.08.24
C01	Issued for construction	SW	LK	07.06.24
P01	Issued for review and comment	SW	LK	30.01.24

rev	amendments	by	ckd	date
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Office WC and Cleaners Store Elevations

Information Container LOIN	
LOD 4	LOI 2

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RIBA PoW Stage: Stage 4 - Detailed Design

Suitability / Status: CR

Drawn / Checked: SW/LK

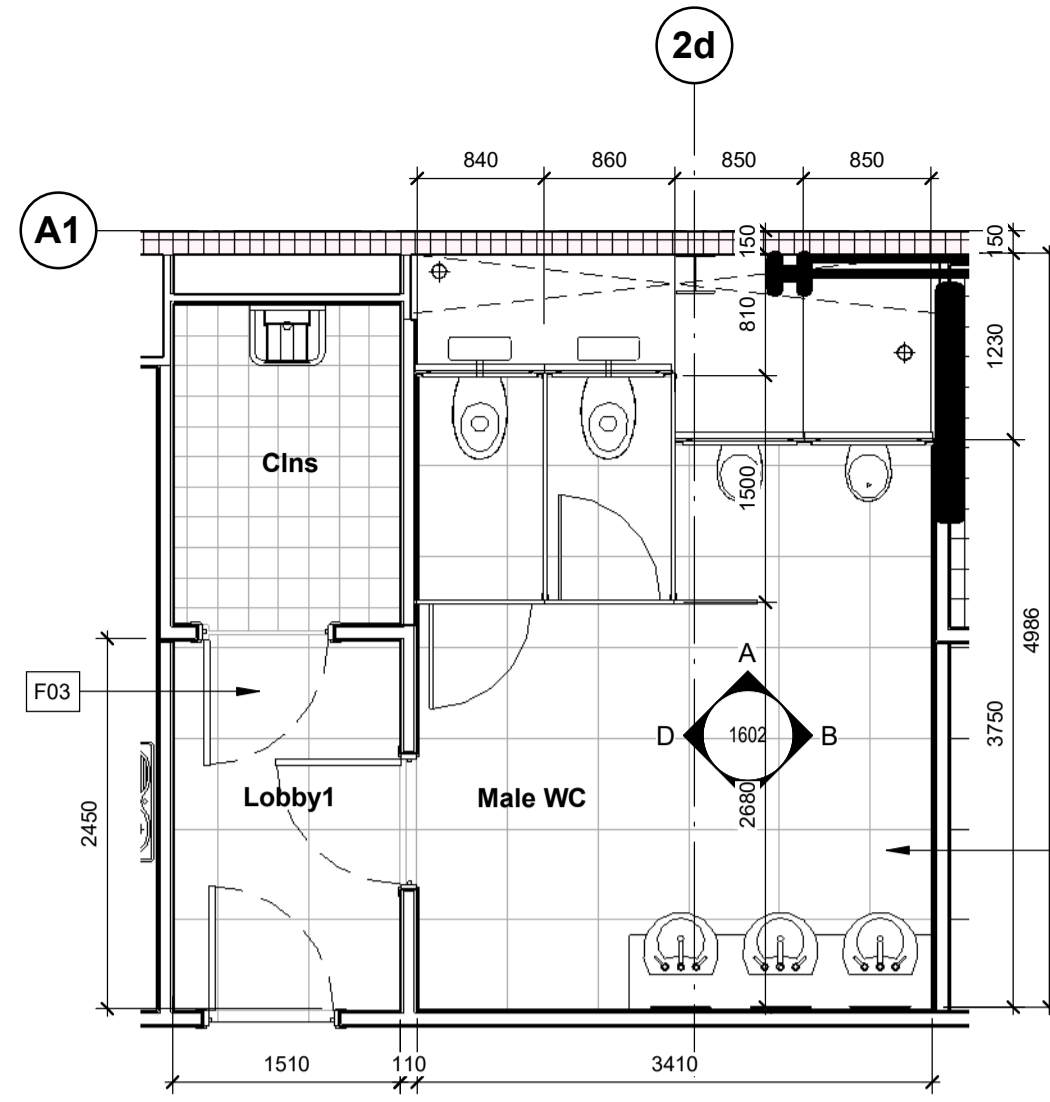
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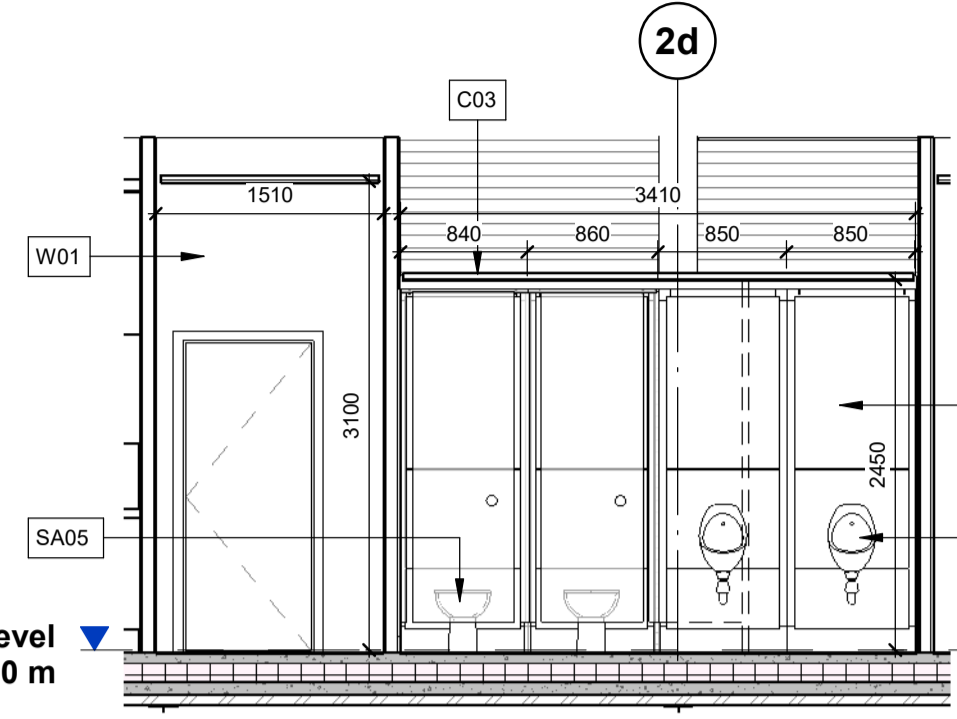
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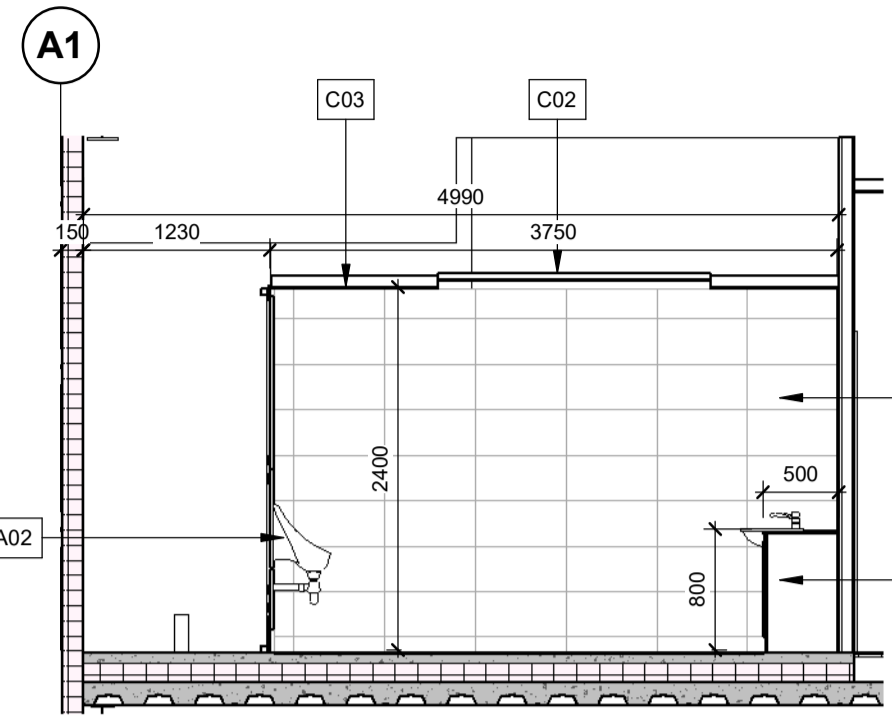
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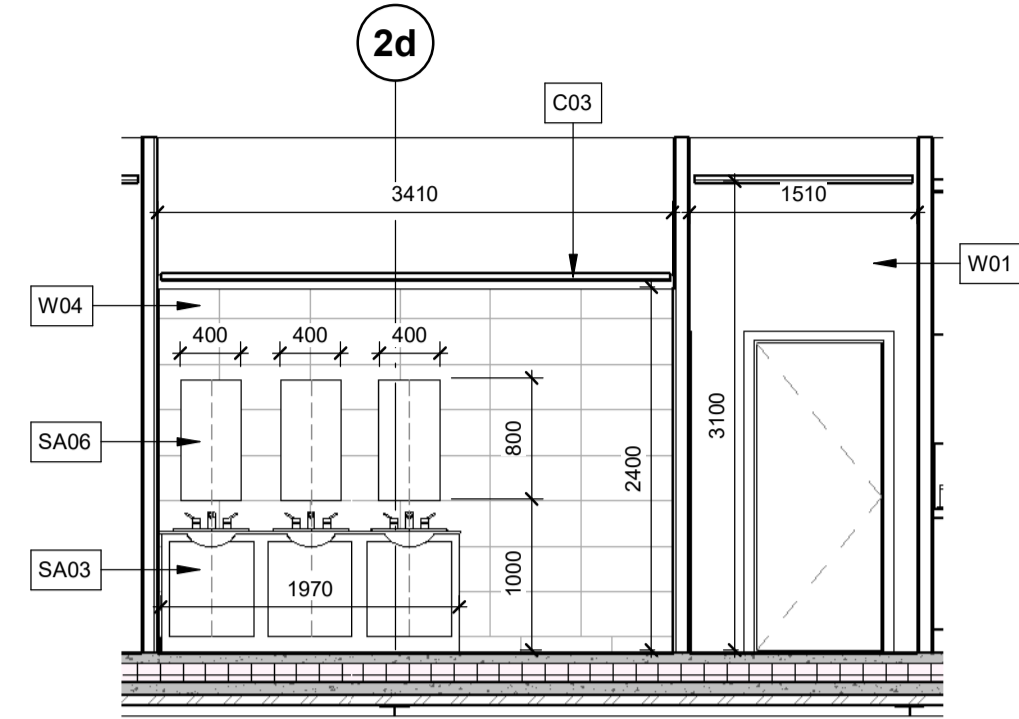
First Floor Male WC - Plan
 1 : 50



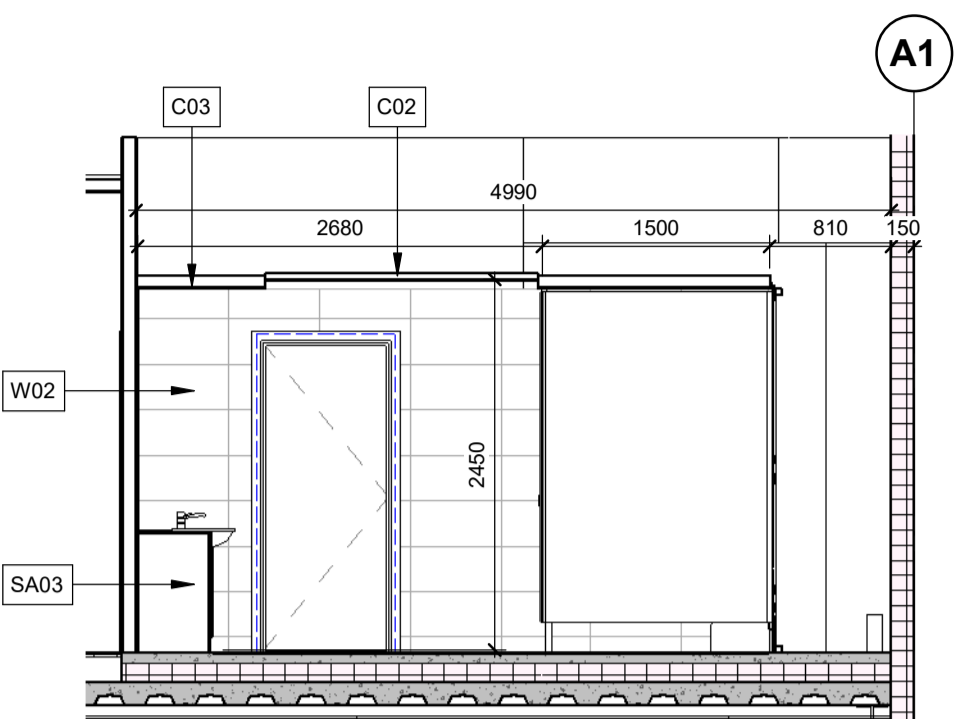
FF Male WC - Elevation A
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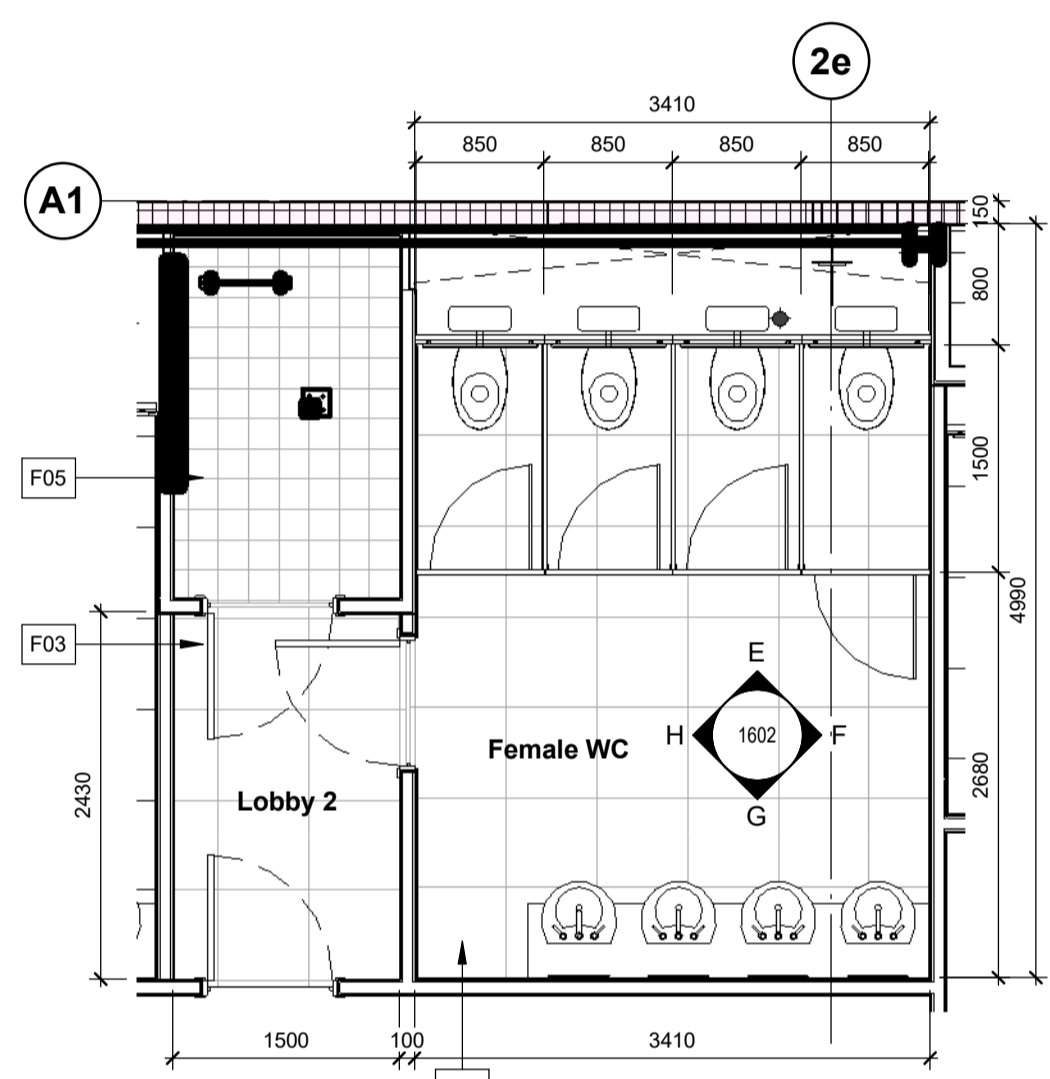
FF Male WC - Elevation B
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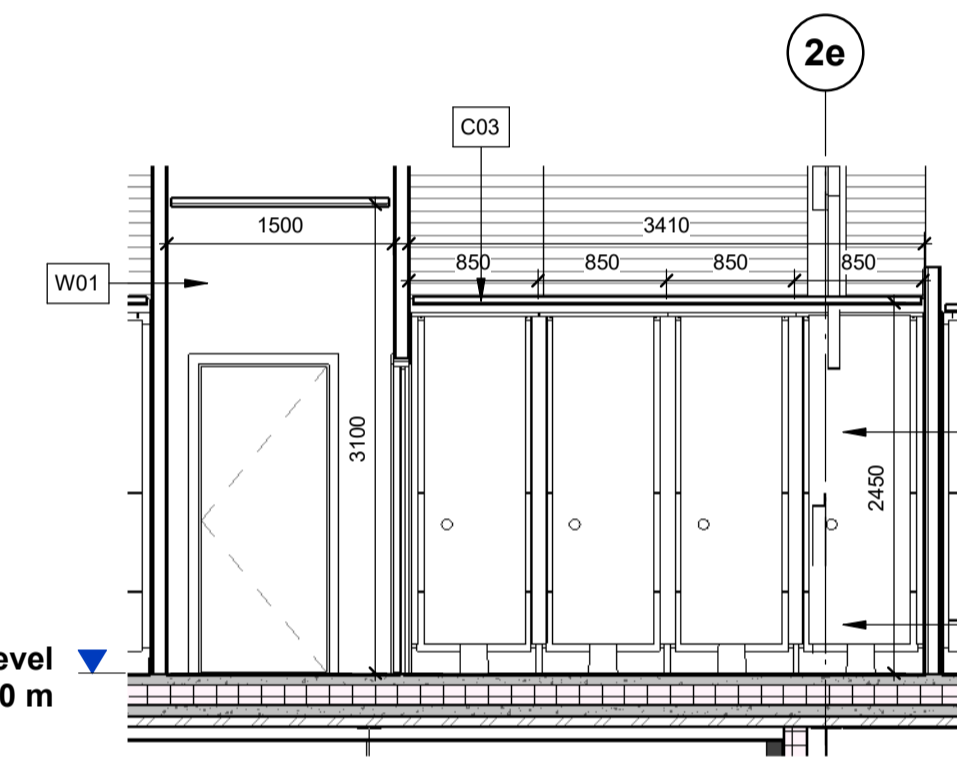
FF Male WC - Elevation C
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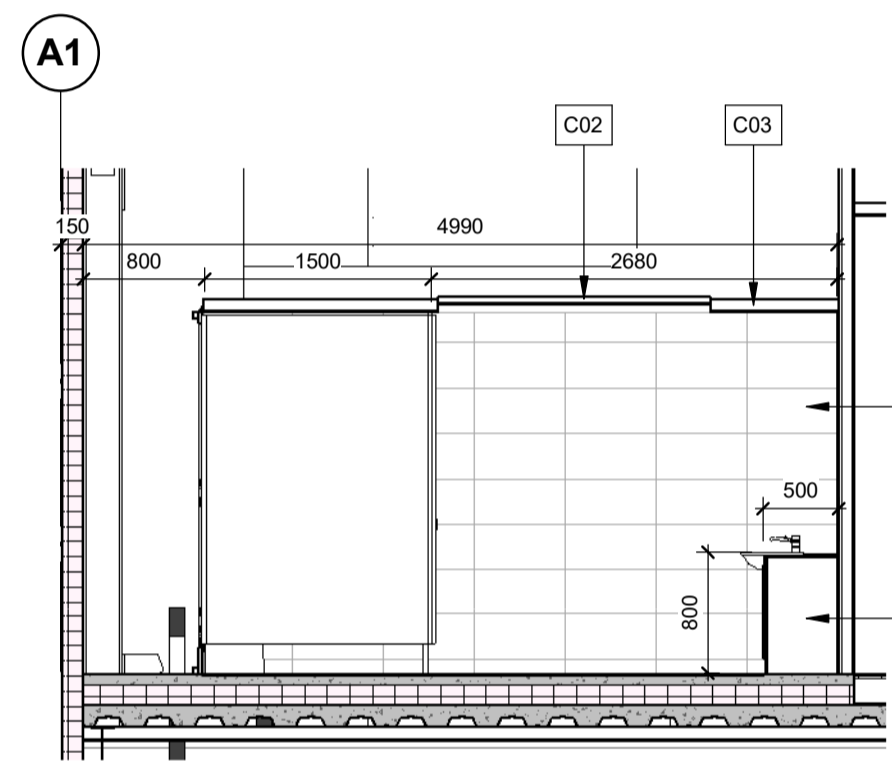
FF Male WC - Elevation D
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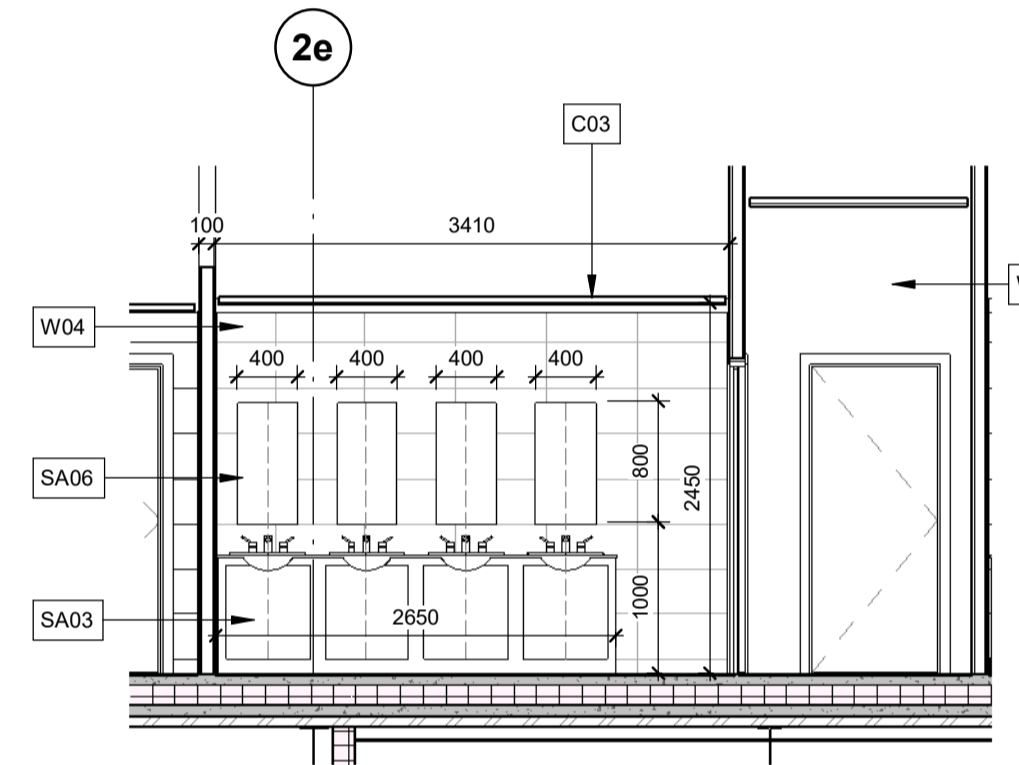
First Floor Female WC - Plan
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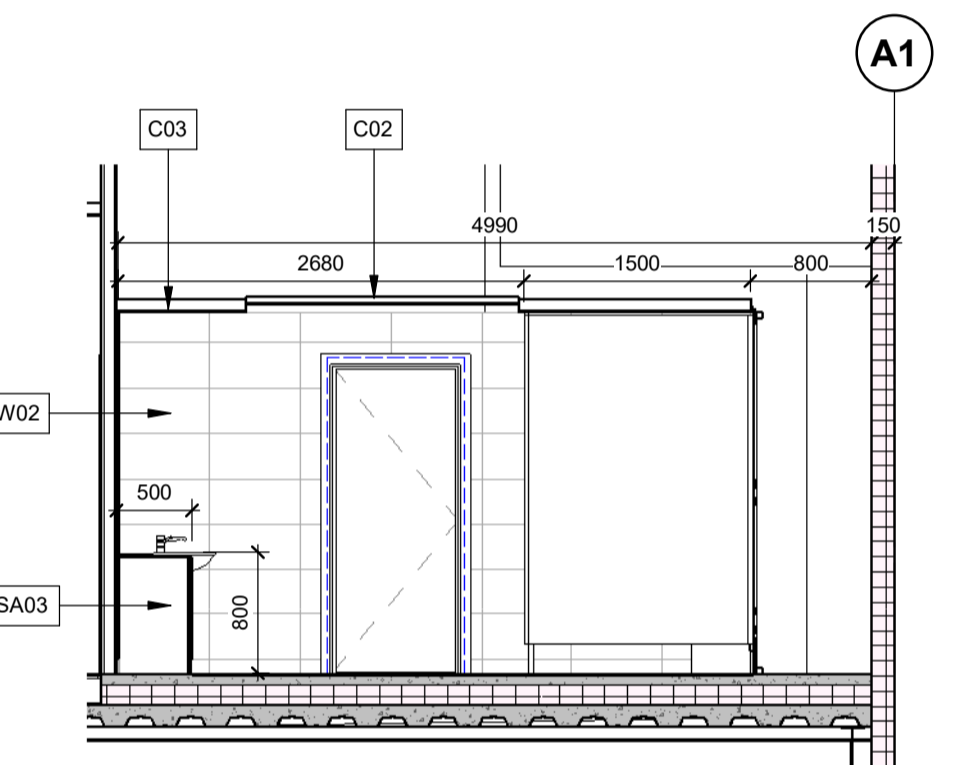
FF Female WC - Elevation E
 1 : 50



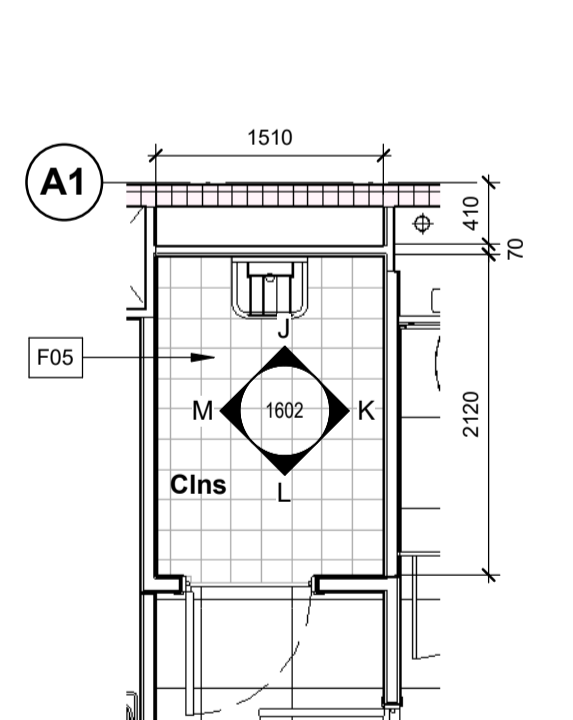
FF Female WC - Elevation F
 1 : 50



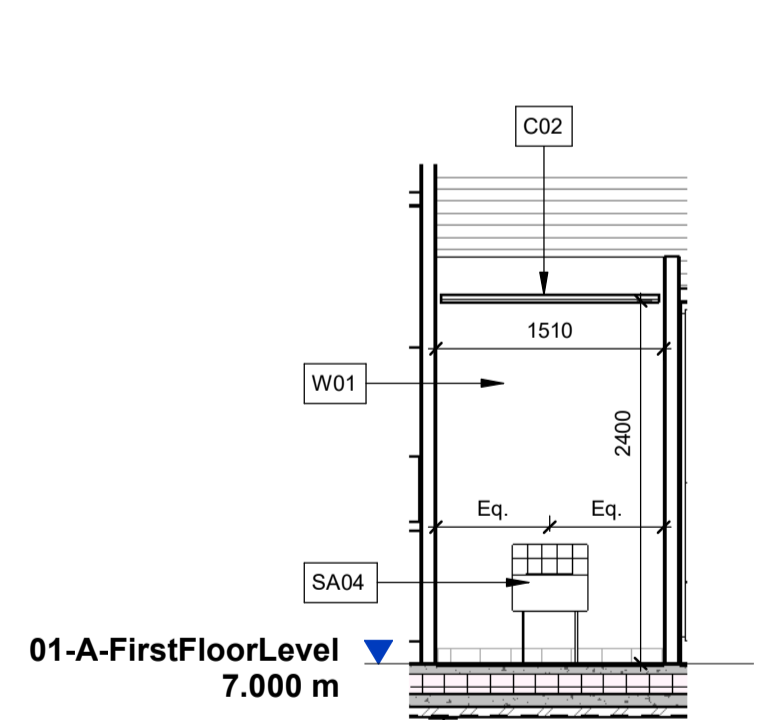
FF Female WC - Elevation G
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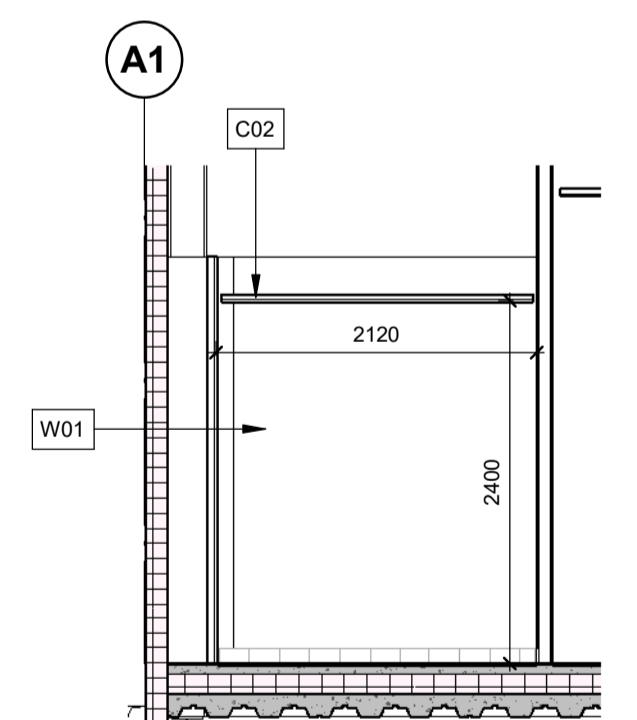
FF Female WC - Elevation H
 1 : 50



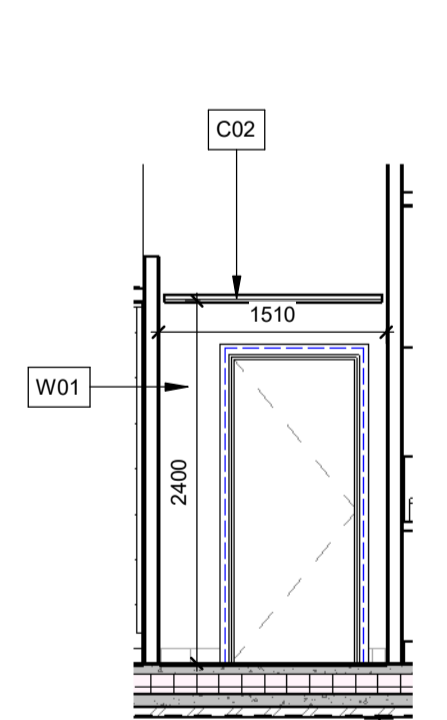
First Floor Clns Store Plan
 1 : 50



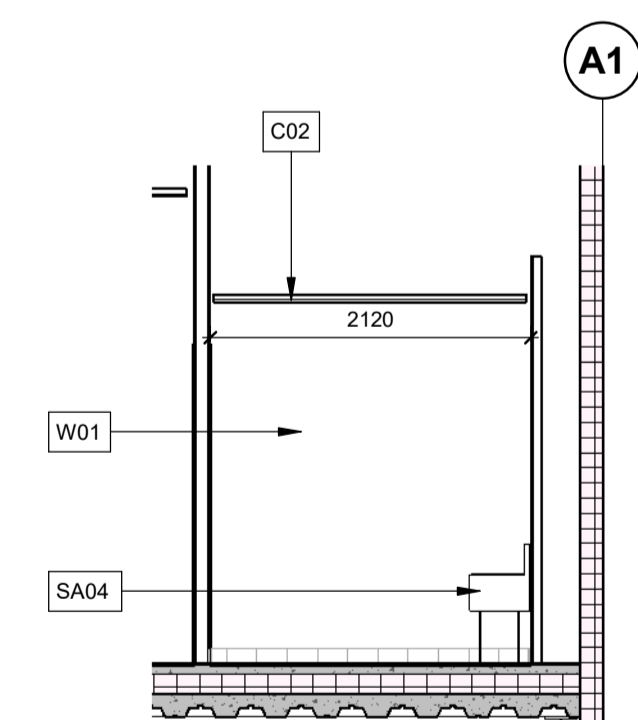
FF Clns Store - Elevation J
 1 : 50



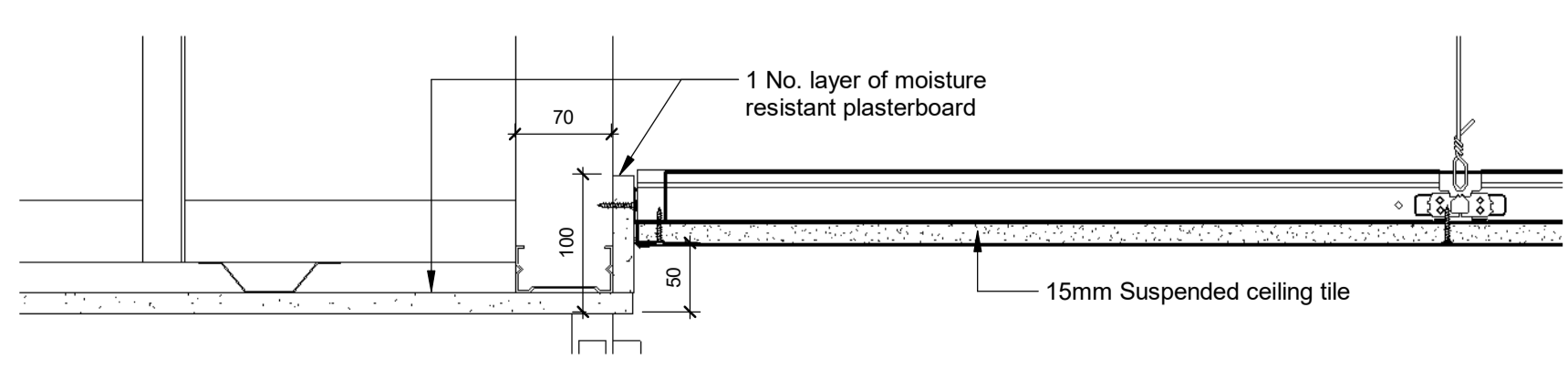
FF Clns Store - Elevation K
 1 : 50



FF Clns Store - Elevation L
 1 : 50



FF Clns Store - Elevation M
 1 : 50



Typical Ceiling Transition Detail
 1 : 5

NOTE:

For Finishes refer to:
 P23025_UMC_BR_ZZ_DR_A_1201 Office Ceiling Plans
 P23025_UMC_BR_ZZ_DR_A_1208 Office Floor Finishes
 P23025_UMC_BR_ZZ_DR_A_1209 Office Wall Finishes

Grade 316 satin finished steel toilet roll holders and coat hooks will be provided in each toilet cubicle.

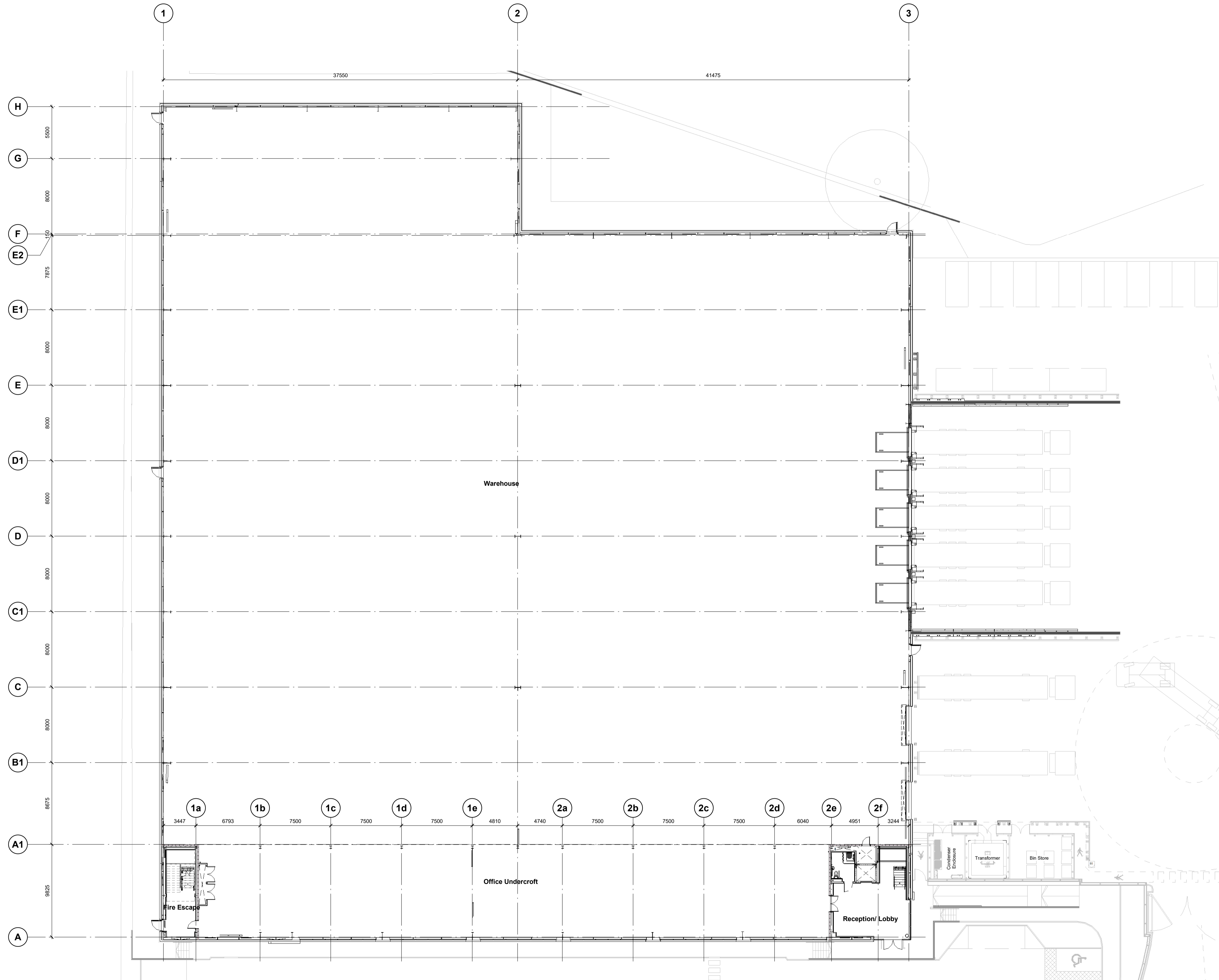
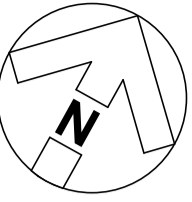
All pipework within toilet areas is to be concealed with suitable maintenance access. Any visible fittings within toilet areas to be chrome.

For IPS drawings please refer to:
 P23025-TLS-BR-00-DR-X-0004 Female WC
 P23025-TLS-BR-00-DR-X-0005 Male WC



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Overall Ground Floor Plan
 1 : 200

Schedule of Accommodation (GIA)

	sq m	sq ft
Warehouse at 12.5m	5,620	60,493
Undercroft	661	7,116
Warehouse	6,281	67,609
GF office	116	1,249
FF office	760	8,181
OA Office	876	9,430
Total	7,157	77,039

Schedule of Accommodation (GEA)

	sq m	sq ft
Warehouse at 12.5m	5,715	61,516
Undercroft	689	7,416
Warehouse	6,404	68,932
GF office	127	1,367
FF office	816	8,783
OA Office	943	10,150
Total	7,347	79,082

- CR1 Construction Record Issue LK SW 27.08.24
- C06 Ground Floor Dis. WC layout updated to suit new steelwork introduced for door through white wall LK SW 12.04.24
- C05 GL 2f amended to prevent clash with the lift shaft. SW LK 05.03.24
- C04 Severfield steel positions coordinated with lift shaft, stairs and wall linings. SW LK 26.02.24
- C03 GA drawings updated to show coordination with steel. Wall on GL A moved outboard by 70mm to account for 270mm cladding rail zone. SW LK 09.02.24
- C02 GL 1 and 2 moved out 25mm. GL H and F also moved out 25mm in order to give increased construction tolerances as requested by Winvic 30.01.24. GL E2 introduced 150mm offset from F. GL G is now offset 8m from GL F. GL B deleted. SW LK 31.01.24
- C01 GL 1 and 2 moved out 25mm. GL H and F also moved out 25mm in order to give increased construction tolerances as requested by Winvic 30.01.24. SW LK 30.01.24
- P03 GL 1 and 2 moved out 96mm and GL H and F moved out 121mm in order to give increased warehouse construction tolerances. GL A1 has moved outboard 125mm to give the office construction tolerance. SW LK 26.01.24
- P02 Issued for review and comment SW LK 08.12.23
- P01 Preliminary Issue SW LK 24.11.23

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Overall Ground Floor Plan

Information Container LOIN	
LOD 4	LOI 2

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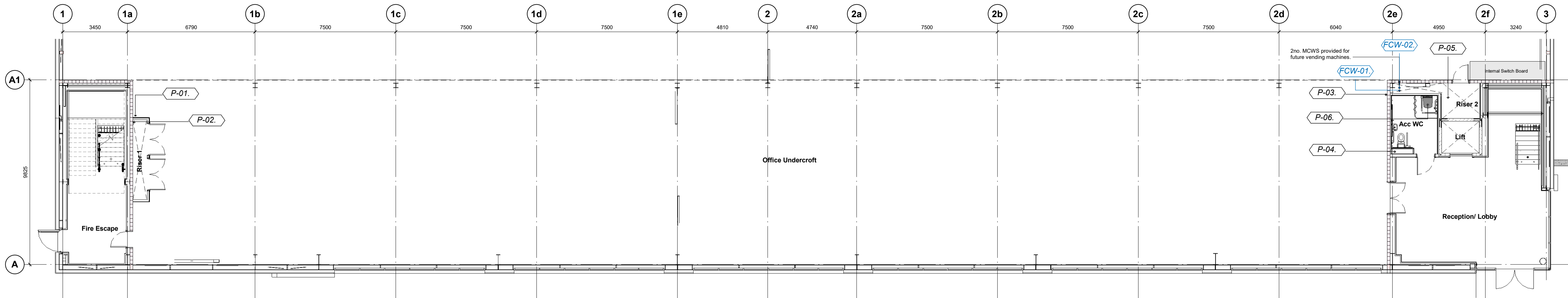


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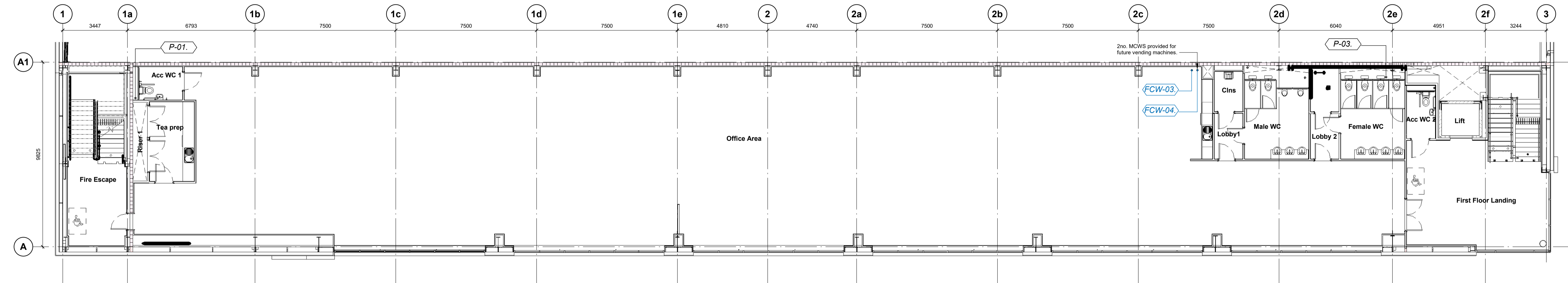
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Suitability / Status:	CR
Drawn / Checked:	SW/LK
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UMC Project Number:	22400
Document Reference:	Drawing no: 1001
	Revision: CR1

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Ground Floor Pop Up Setting Out
 1 : 100



First Floor Pop Up Setting Out
 1 : 100

Pop Up Schedule	Reference
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FCW-01.
FCW-02.
FCW-03.
FCW-04.
P-01.
P-02.
P-03.
P-04.
P-05.
P-06.
Grand total: 10

FCW - Future Cold Water
 P - Pop Up

CR1	Construction Record Issue	LK	SW	27.08.24
C01	Initial Issue	SW	LK	07.05.24
rev	amendments	by	ckd	date

Horton Road, Poyle
 Pop Up Setting Out

Information Container LOIN	
LOD 4	LOI 2

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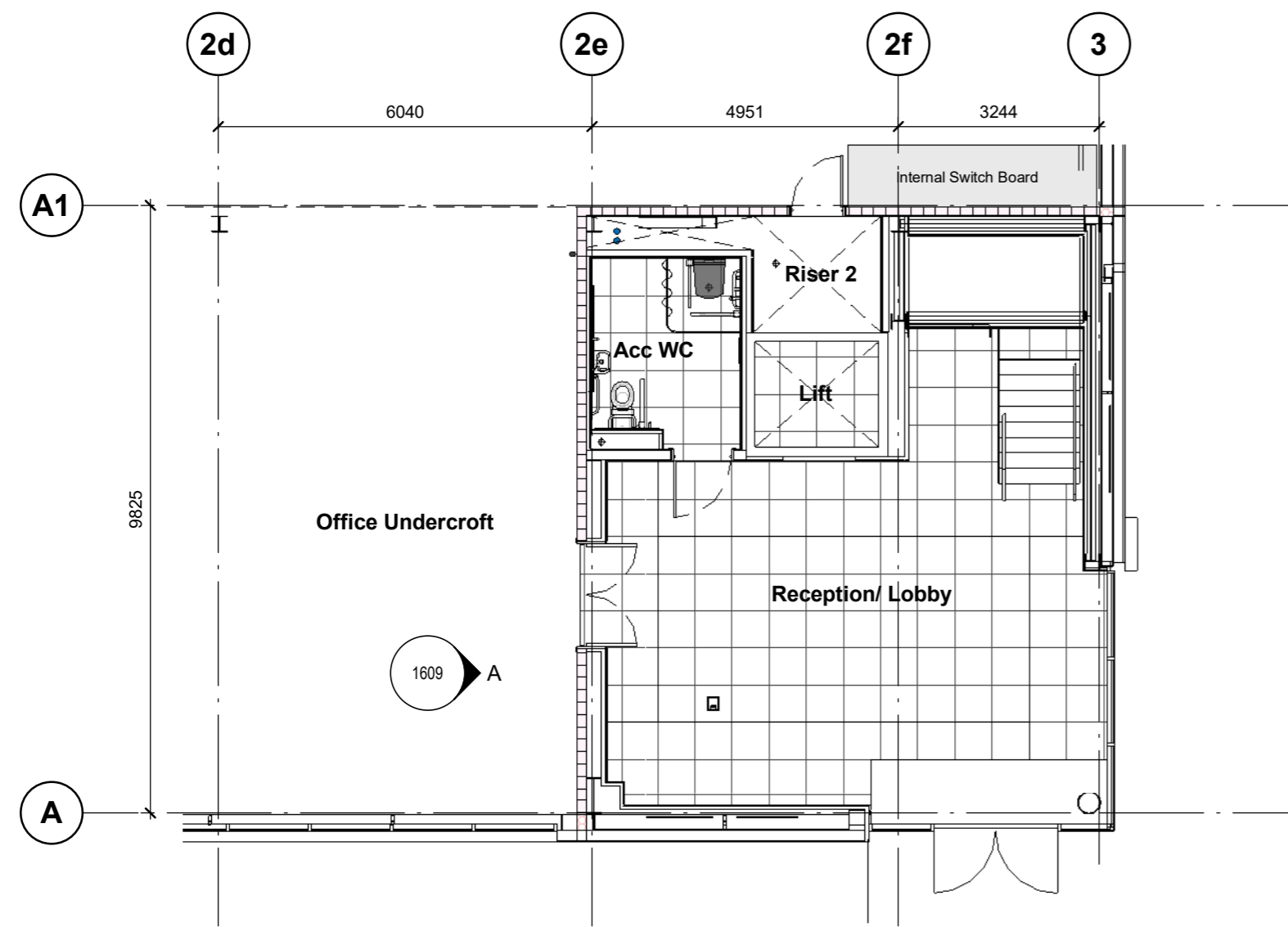


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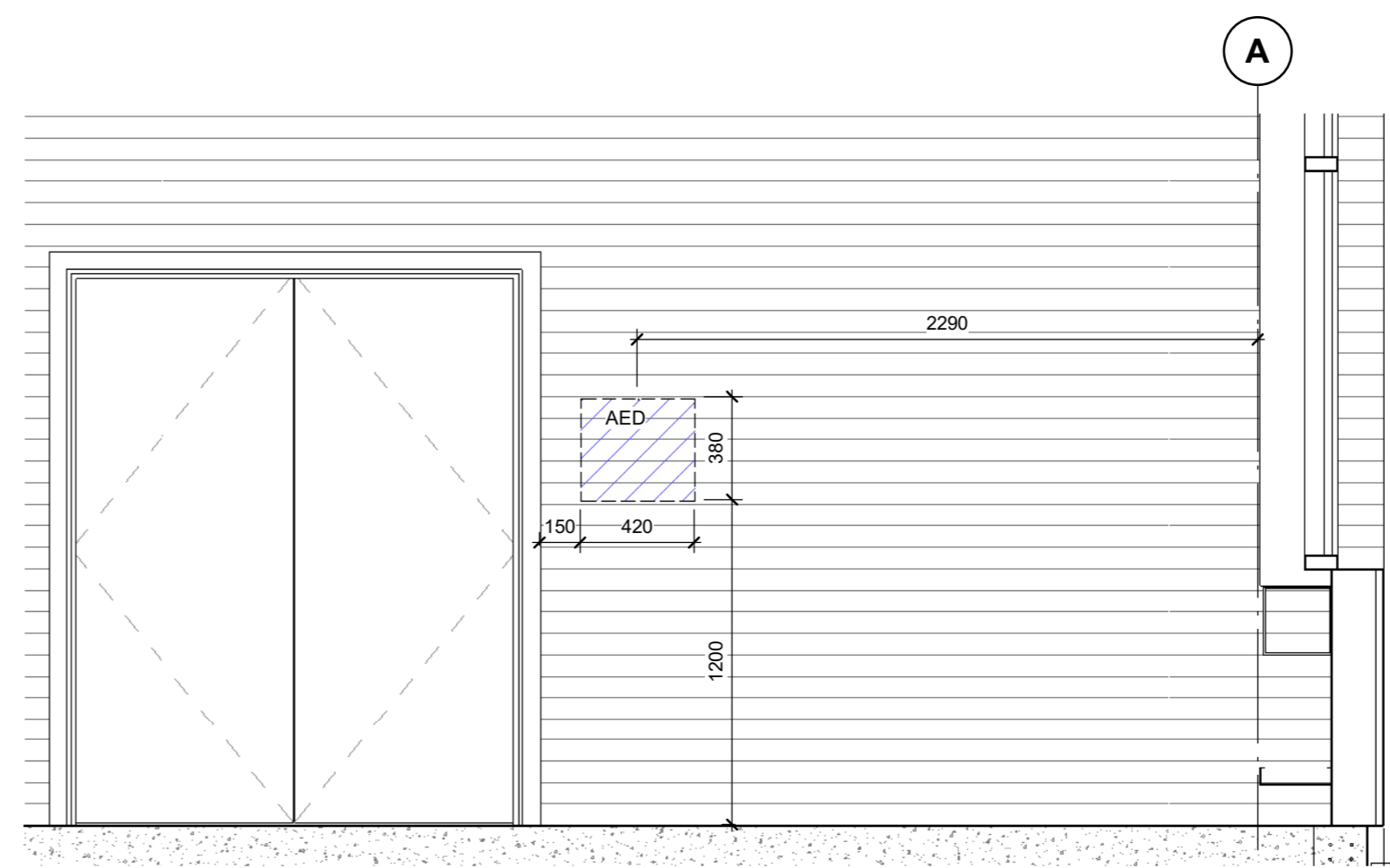
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Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	25/04/24
Scale:	1 : 100 @ A1
UMC Project Number:	22400
Document Reference:	P23025_UMC_BR_00_DR_A_
Drawing no:	1012
Revision:	CR1

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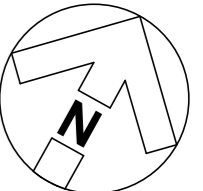
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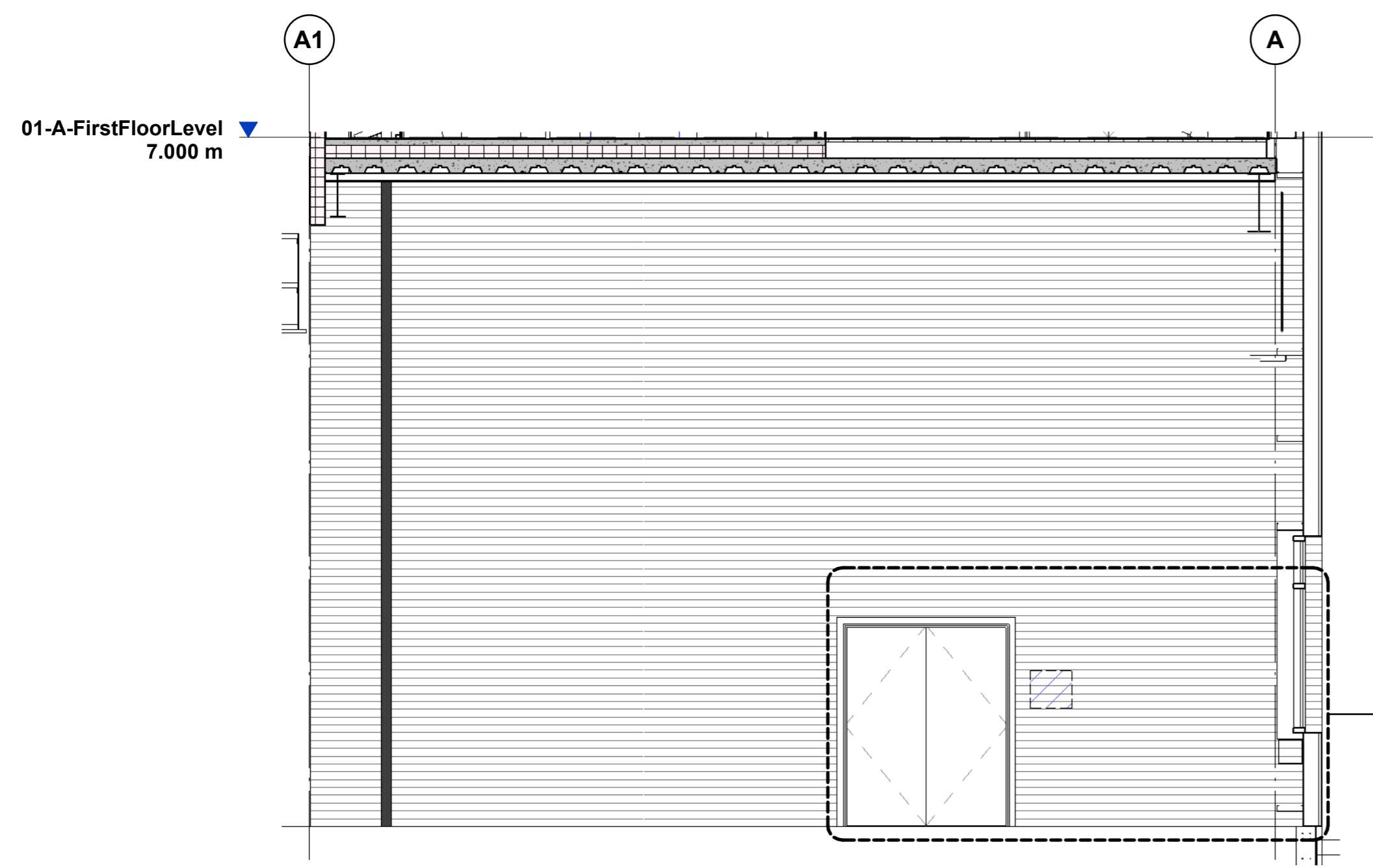
Office Undercroft Plan
1 : 100



Warehouse to Office Lobby - Elevation A - Callout 1
1 : 25



KEY:
AED - Automated External Defibrillator



Warehouse to Office Lobby - Elevation A
1 : 50

FOR EXACT SETTING OUT REFER TO WMBS LATEST CONSTRUCTION RECORD/ AS-BUILT DRAWINGS

CR1	Construction Record Issue	LK	SW	27.08.24
C01	Initial Issue	SW	LK	28.06.24
rev	amendments	by	ckd	date

Horton Road, Poyle

AED Setting Out

Information Container LOIN	
LOD 4	LOI 2

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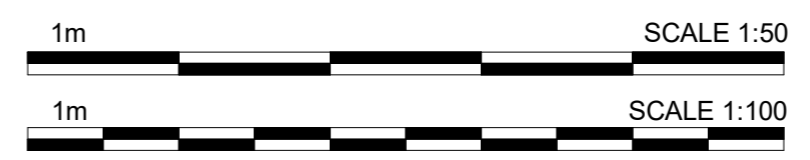


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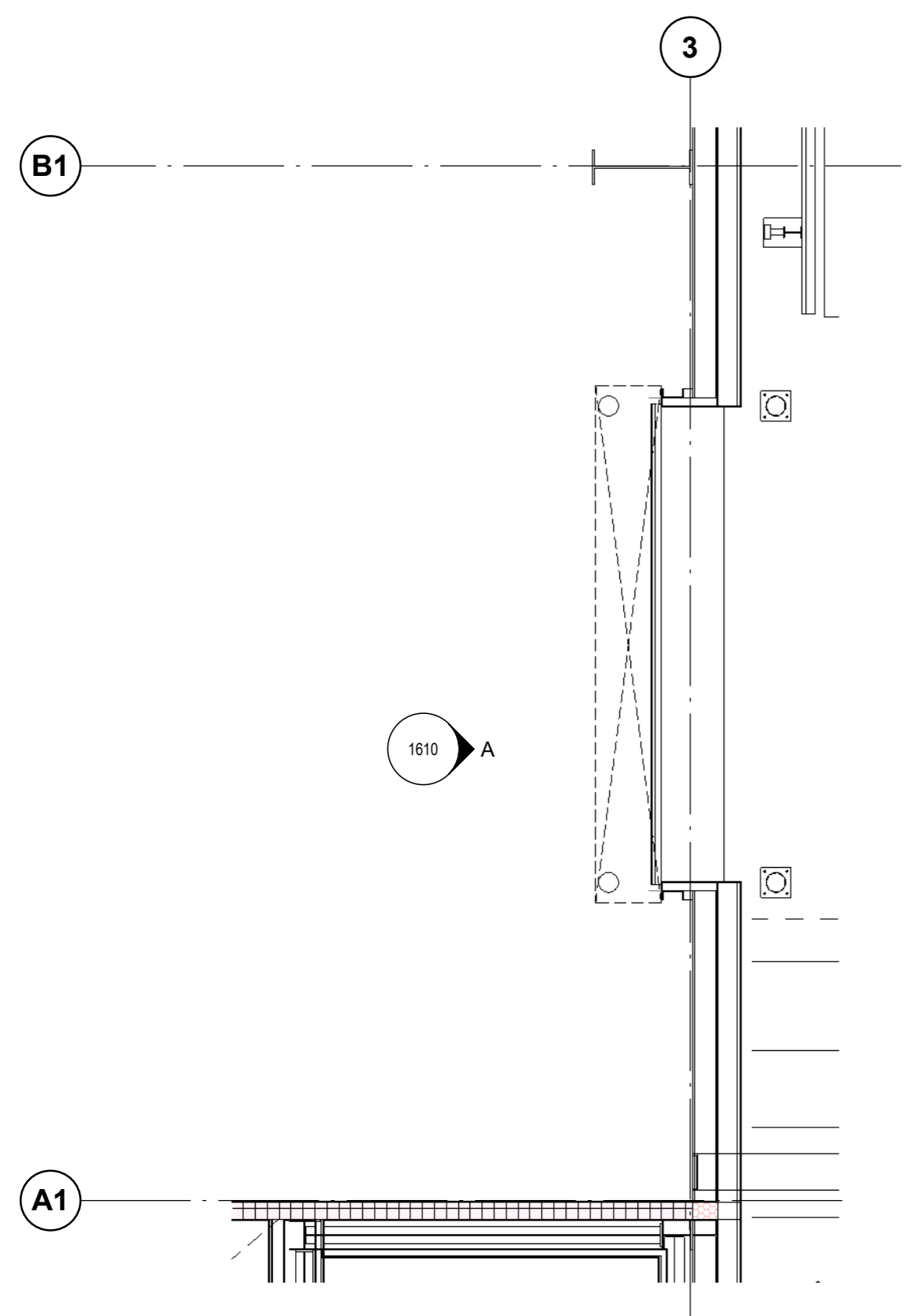
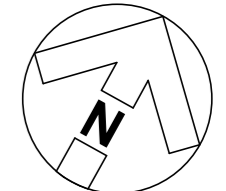
RIBA PoW Stage:	Stage 4 - Detailed Design
Document Suitability:	CR
Drawn / Checked:	SW/LK
Date:	28/06/24
Scale:	As indicated @ A2
UMC Project Number:	22400

Document Reference:	Drawing no:	Revision:
P23025-UMC -BR -00 -DR -A-	1609	CR1

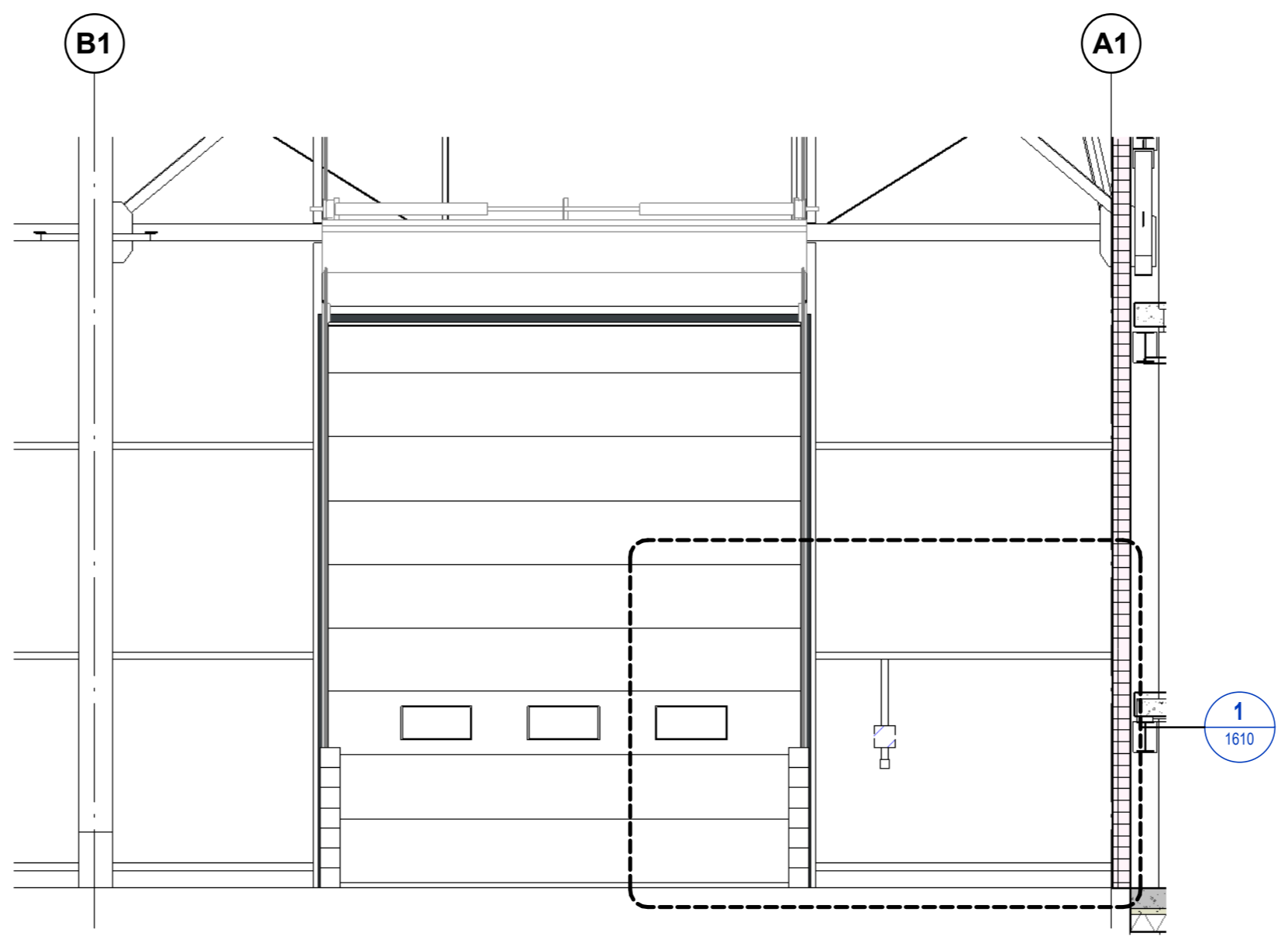
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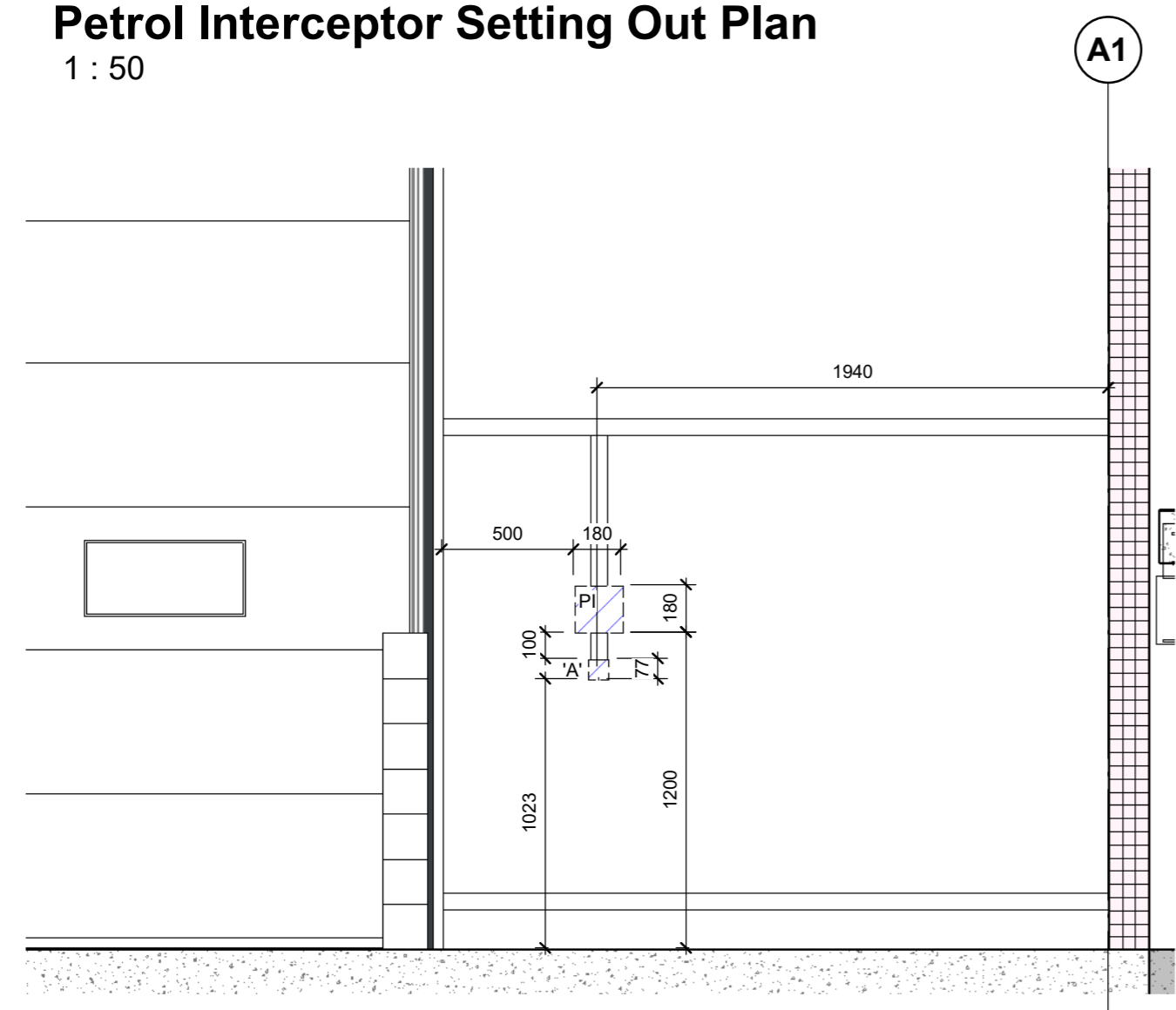


Petrol Interceptor Setting Out Plan
 1 : 50



Petrol Interceptor Setting Out - Elevation A
 1 : 50

FOR EXACT SETTING OUT REFER TO WMBS LATEST CONSTRUCTION RECORD/ AS-BUILT DRAWINGS



Petrol Interceptor Setting Out - Elevation A - Callout 1
 1 : 25

KEY:
 PI - Petrol Interceptor Control Panel
 A - Petrol Interceptor Panel Supply via Fused Spur



CR1	Construction Record Issue	LK	SW	27.08.24
C01	Initial Issue	SW	LK	28.06.24
rev	amendments	by	ckd	date

Horton Road, Poyle

Petrol Interceptor Setting Out

Information Container LOIN	
LOD 4	LOI 2

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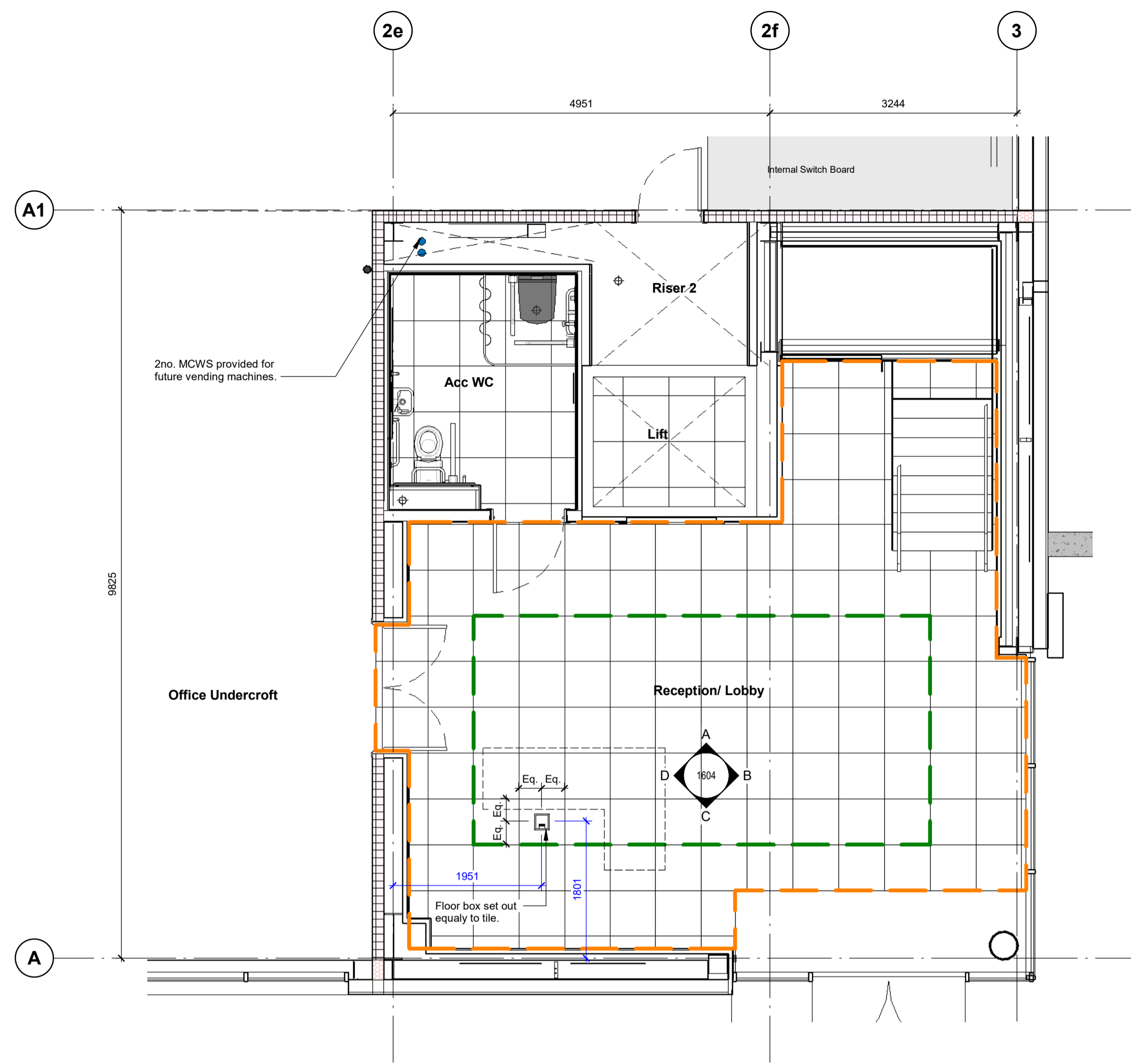


info@umcarchitects.com

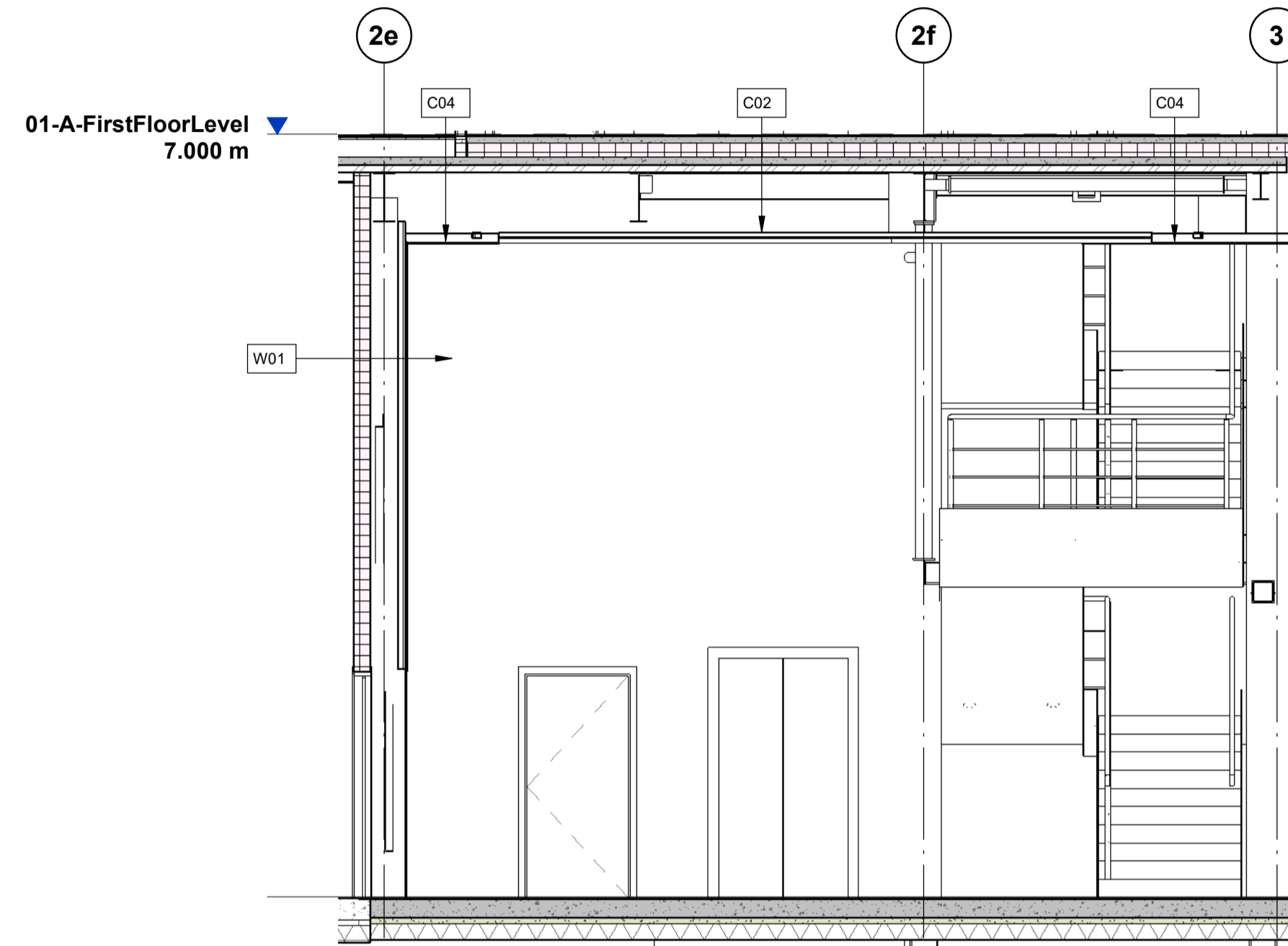
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Document Suitability:	CR
Drawn / Checked:	SW/LK
Date:	28/06/24
Scale:	As indicated @ A2
UMC Project Number:	22400

Document Reference:	Drawing no:	Revision:
P23025-UMC -BR -00 -DR -A-	1610	CR1

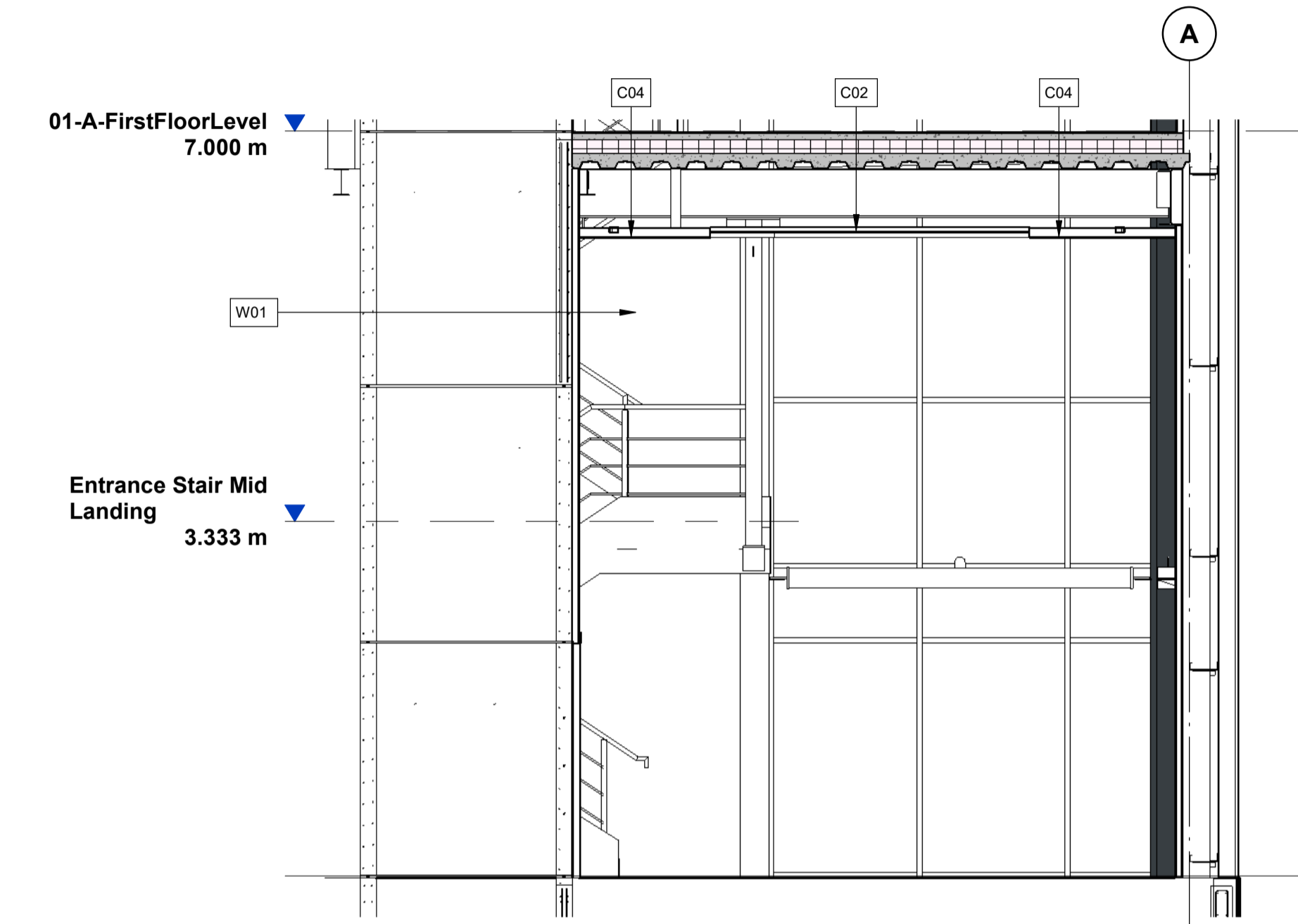
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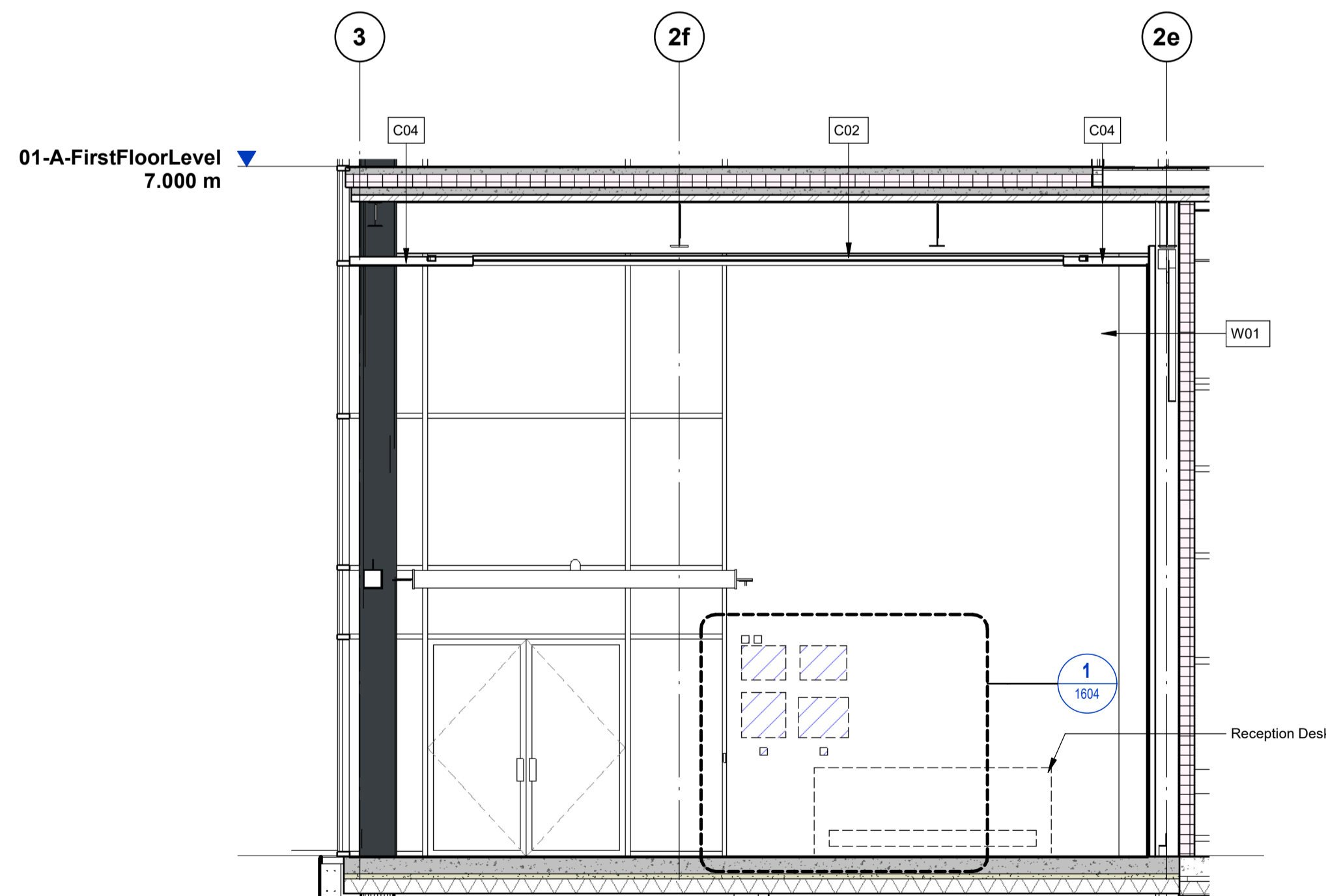
Reception/ Lobby Plan
1 : 50



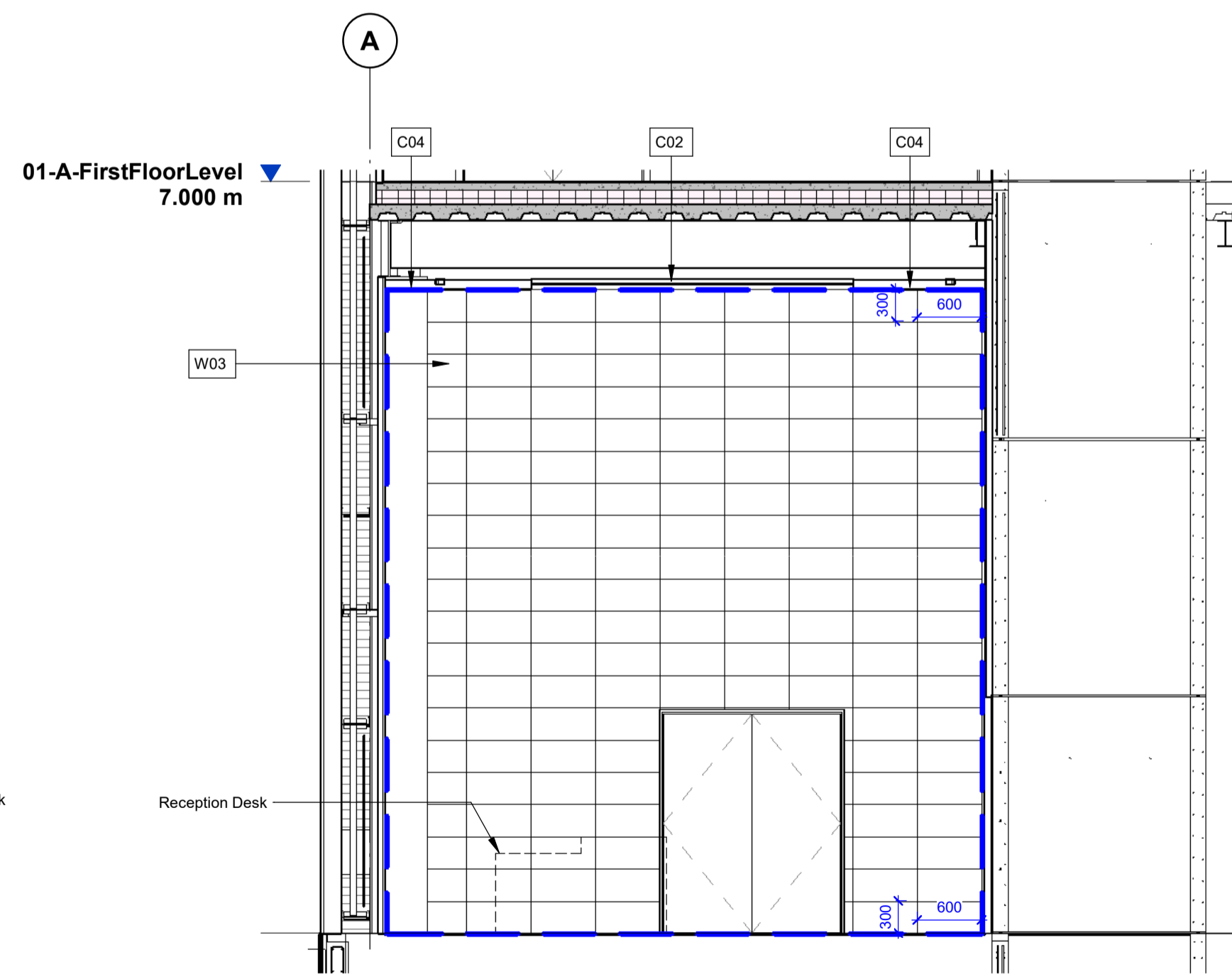
Reception/ Lobby - Elevation A
1 : 50



Reception/ Lobby - Elevation B
1 : 50



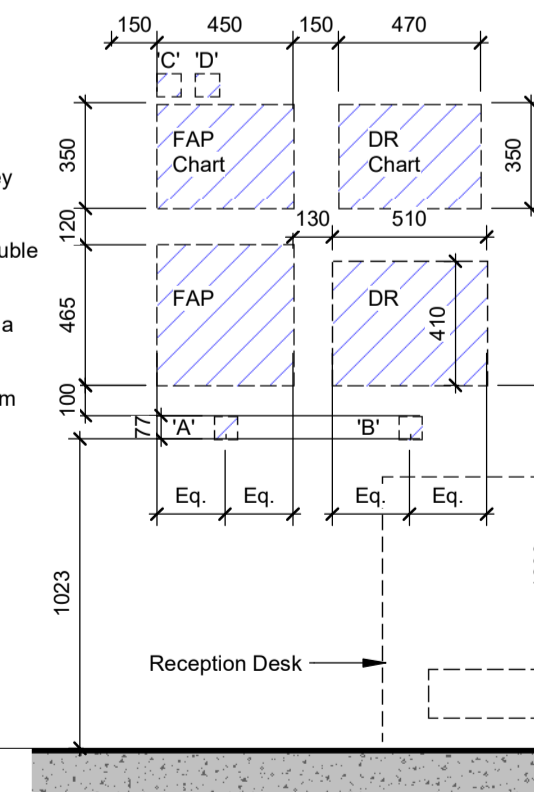
Reception/ Lobby - Elevation C
1 : 50



Reception/ Lobby - Elevation D
1 : 50

KEY:

- FAP - Fire Alarm Panel
- DAP - Disabled Refuge Panel
- A - FAP Supply via Double Pole Key Switch
- B - Disabled Refuge Supply via Double Pole Key Switch
- C - Powered Access Door supply via Fused Spur
- D - Powered Access Door Fire Alarm Interface



Reception/ Lobby - Elevation C - Callout 1
1 : 25



KEY:

- Indicates proposed position for reception furniture.
- Indicates proposed position for wall mounted equipment.
- W03
600mmx300mm Johnson Tiles IMP05P Charcoal polished ceramic tiles laid/fix landscape format.
- F02
600mmx600mmx11mm ceramic floor tiles Johnson Tiles Minerals Range MIN03G 'Limestone Grip'
- F03
600mmx600mm Johnson Tiles Minerals Range MIN05G Slate Grip.

- W01
Plaster/ dry lined and fully sealed. Painted with one mist coat and two coats Dulux Trade Diamond Matt emulsion paint BS4800 22B15 'Swansdown'.
- C02
600x600mm wide Zentia Aruba tiles in lay-in grid system. 95% relative humidity rating.
- C04
Minimum 600mm(W) x 100mm(D) Dulux Absolute White vinyl matt emulsion painted plasterboard/ MF flat bulkhead.

- Dimensions are all in millimeters, unless stated otherwise.
- It is the recipient's responsibility to print this document to the correct scale.
- All the relevant drawings and specifications should be read in conjunction with this drawing.
- Scaling of this drawing is not recommended.

NOTE:

- For Finishes refer to:
- P23025_UMC_BR_ZZ_DR_A_1201 Office Ceiling Plans
 - P23025_UMC_BR_ZZ_DR_A_1208 Office Floor Finishes
 - P23025_UMC_BR_ZZ_DR_A_1209 Office Wall Finishes

CR1	Construction Record Issue	LK	SW	27.08.24
C05	Patrol Interceptor and AED cabinet relocated based on client confirmation 25.06.24. Power assisted door equipment added to drawing.	SW	LK	28.06.24
C04	Floor box set out from GL. Ceiling finish 02 amended to Zentia Aruba as per the miles package, due to the discontinuation of Armstrong Dune. CT-02 to cover all grid areas, therefore CT-01 has been omitted.	SW	LK	10.06.24
C03	Patrol Interceptor dimensions added to the drawing following confirmation of size from Winvic 05.06.24.	SW	LK	05.06.24
C02	Reception/ Lobby floor finish amended to align with ceiling tile setting out. Lift floor finish added to align with reception/ lobby.	SW	LK	05.06.24
C01	Initial Issue	SW	LK	30.05.24
rev	amendments	by	ckd	date

Horton Road, Poyle
Reception Elevations

Information Container LOIN
LOD 4 LOI 2

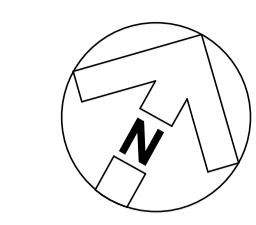
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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	08/01/24
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	P23025_UMC_BR_00_DR_A_1604
Drawing no:	1604
Revision:	CR1

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Horizontally laid CA Twin-Therm 32/1000R Built Up Cladding
 Finish: HPS200 Ultra
 Colour: Goosewing Grey (RAL 7038)

Roof Plan Key	
GU-01	Roof gutter
PA-01	PPC aluminium feature flashing/ capping detail Colour: Anthracite (RAL 7016)
RF-01	Horizontally laid CA Twin-Therm 32/1000R Built Up Cladding Finish: HPS200 Ultra Colour: Goosewing Grey (RAL 7038)
RF-02	Triple skinned GRP rooflight, with a 2.44kg/lm (CE24) inner and a 1.83kg/lm (CE18E) 'Quick Release' outer skin.
RH-01	Bilco Companionway Access Roof Hatch CS-50TB with BiGuard 2.0 Hatch Railing system. Accessed via a ships ladder.

Rooflight floor area coverage (15% requirement)	
Rooflights	19%

Roof Plan Key:	
	Representative of 250m² of roof mounted Solar PV installation. And 5m² of roof mounted Solar Thermal panels.
	Bilco Companionway Access Roof Hatch CS-50TB with BiGuard 2.0 Hatch Railing system. Accessed via a ships ladder.
	Triple skinned GRP rooflight, with a 2.44kg/lm (CE24) inner and a 1.83kg/lm (CE18E) 'Quick Release' outer skin.
	1100mm high handrail to act as fall prevention where parapet doesn't meet 1100mm requirement.

FOR EXACT SETTING OUT OF PV PANELS REFER TO IEG LATEST CONSTRUCTION RECORD/ AS-BUILT DRAWINGS

CR1	Construction Record Issue	LK	SW	27.08.24
C05	PV layout updates to suit latest information received on 04.07.24, step over gutter plate included as per Clarke Bank comments 03.07.24	LK	SW	04.07.24
C04	Office grids added to drawing. Roof hatch is now Bilco Companionway Access Roof Hatch CS-50TB with BiGuard 2.0 Hatch Railing system.	SW	LK	05.03.24
P03	Issued for condition 9 (Samples of Materials)	SW	LK	29.02.24
C03	Roof arrangement updated following approval of sketch 0015. Wall on GL A moved outboard by 70mm to account for 270mm cladding fall zone	SW	LK	09.02.24
C02	GL 1 and 2 moved out 25mm. GL H and F also moved out 25mm in order to give increased construction tolerances as requested by Winvic 30.01.24. GL E2 introduced 150mm offset from F. GL G is now offset 8m from GL F. GL B deleted.	SW	LK	31.01.24
C01	GL 1 and 2 moved out 25mm. GL H and F also moved out 25mm in order to give increased construction tolerances as requested by Winvic 30.01.24.	SW	LK	30.01.24
P02	GL 1 and 2 moved out 90mm and GL H and F moved out 121mm in order to give increased warehouse construction tolerances. GL A1 has moved outboard 125mm to give the office construction tolerance.	SW	LK	26.01.24
P01	Preliminary Issue	SW	LK	24.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle
 Roof Plan

Information Container LOIN	
LOD 4	LOI 2

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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	07/03/23
Scale:	As indicated @ A1
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Drawing no:	1003
Revision:	CR1

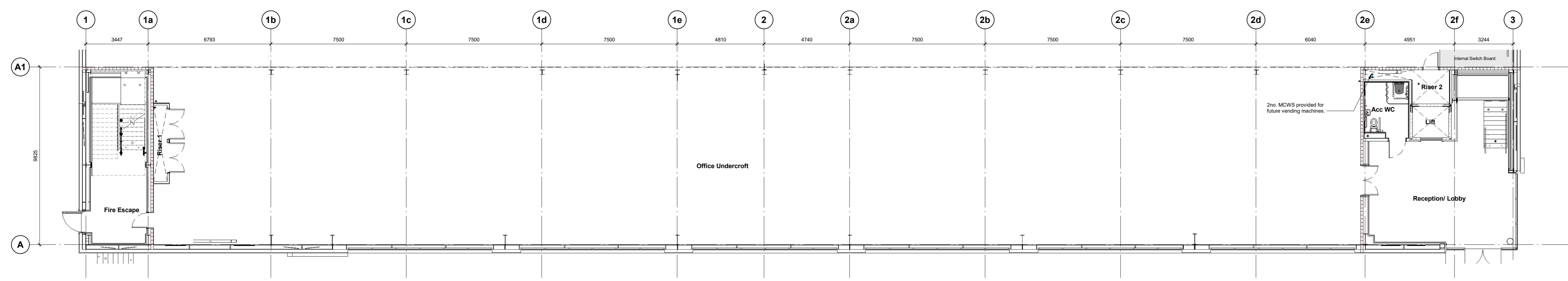
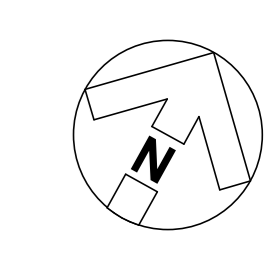
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Roof Plan
 1 : 200



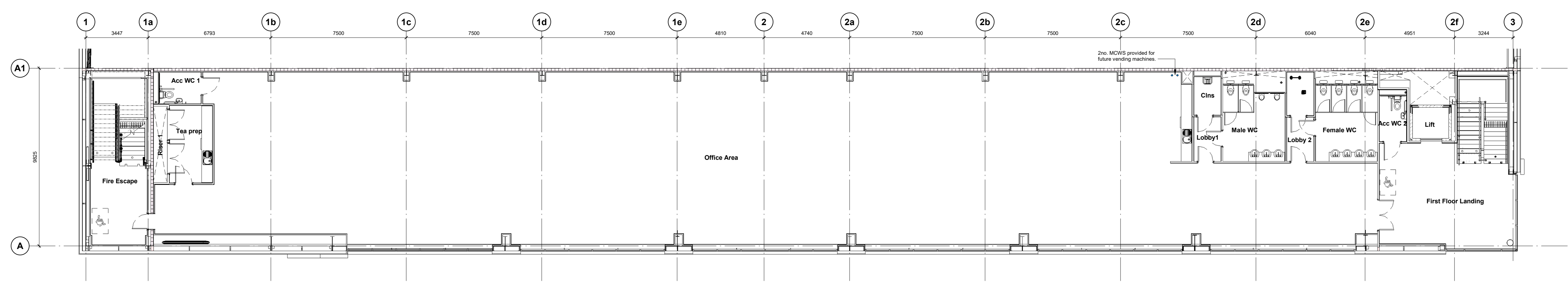
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Ground Floor Office Plan
1 : 100

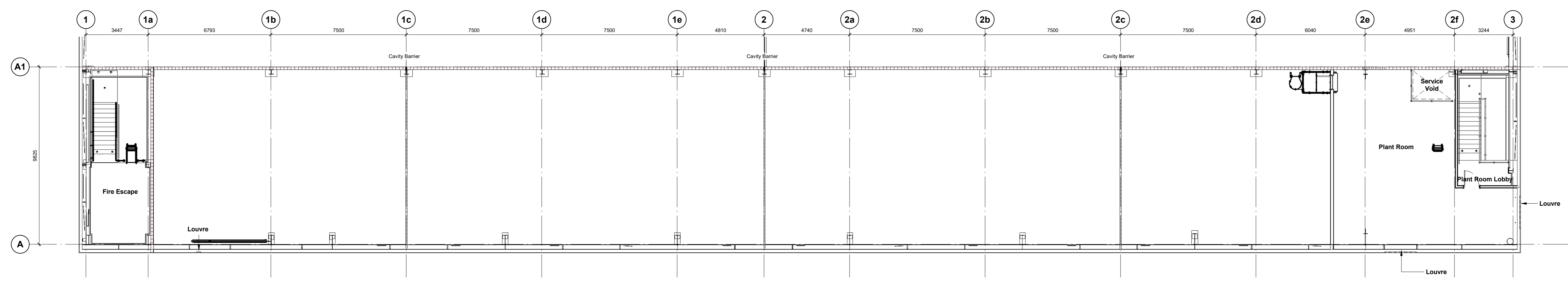
U-Value Key	
Element	U-Value
External Walls	0.26 W/m ² K
Roof	0.18 W/m ² K
Ground Floor	0.18 W/m ² K
Windows	1.50 W/m ² K
Level Access Doors	0.40 W/m ² K
Personal Doors	1.60 W/m ² K
Rooflights	1.30 W/m ² K

Schedule of Accommodation (GIA)		
	sq m	sq ft
Warehouse at 12.5m	5,620	60,493
Undercroft	661	7,116
Warehouse	6,281	67,609
GF office	116	1,249
FF office	760	8,181
OA Office	876	9,430
Total	7,157	77,039



First Floor Office Plan
1 : 100

Schedule of Accommodation (GEA)		
	sq m	sq ft
Warehouse at 12.5m	5,715	61,516
Undercroft	689	7,416
Warehouse	6,404	68,932
GF office	127	1,367
FF office	816	8,783
OA Office	943	10,150
Total	7,347	79,082



Plant Deck Plan
1 : 100

- CR1 Construction Record Issue LK SW 27.08.24
- C08 Drawing revised to include CA1 ladder as per Winvic email 22/07/24, carpet finishes updated to stone and main office to be Farn as agreed with Panattoni, splash back included to cleaners store LK SW 23.07.24
- C07 Internal walls amended to align with the styling package SW LK 05.06.24
- C06 Ground Floor Dia. WC layout updated to suit new steelwork introduced for door through wall/panel SW LK 12.04.24
- C05 GL 2f amended to prevent clash with the lift shaft SW LK 05.03.24
- C04 Severfield steel positions coordinated with lift shaft, stairs and wall bracing SW LK 26.02.24
- C03 GA drawings updated to show coordination with steel. Walk on GL A moved outward by 70mm to account for 270mm cladding rail zone SW LK 09.02.24
- C02 GL 1 and 2 moved out 25mm, GL H and F also moved out 25mm in order to give increased construction tolerance as requested by Winvic 30.01.24. GL E2 introduced 150mm offset from F. GL G is now offset 8m from GL F. GL U deleted SW LK 31.01.24
- C01 GL 1 and 2 moved out 25mm, GL H and F also moved out 25mm in order to give increased construction tolerance as requested by Winvic 30.01.24 SW LK 30.01.24
- P03 GL 1 and 2 moved out 16mm and GL H and F moved out 121mm in order to give increased warehouse construction tolerance. GL A1 has moved outward 125mm to give the office construction tolerance SW LK 26.01.24
- P02 Issued for review and comment SW LK 08.12.23
- P01 Preliminary Issue SW LK 24.11.23

Horton Road, Poyle
Office Plans

Information Container LOIN

LOD 4	LOI 2
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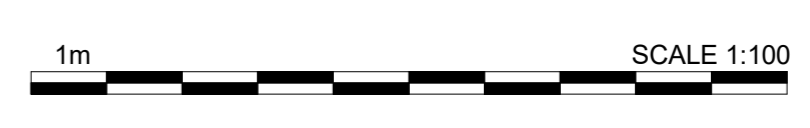
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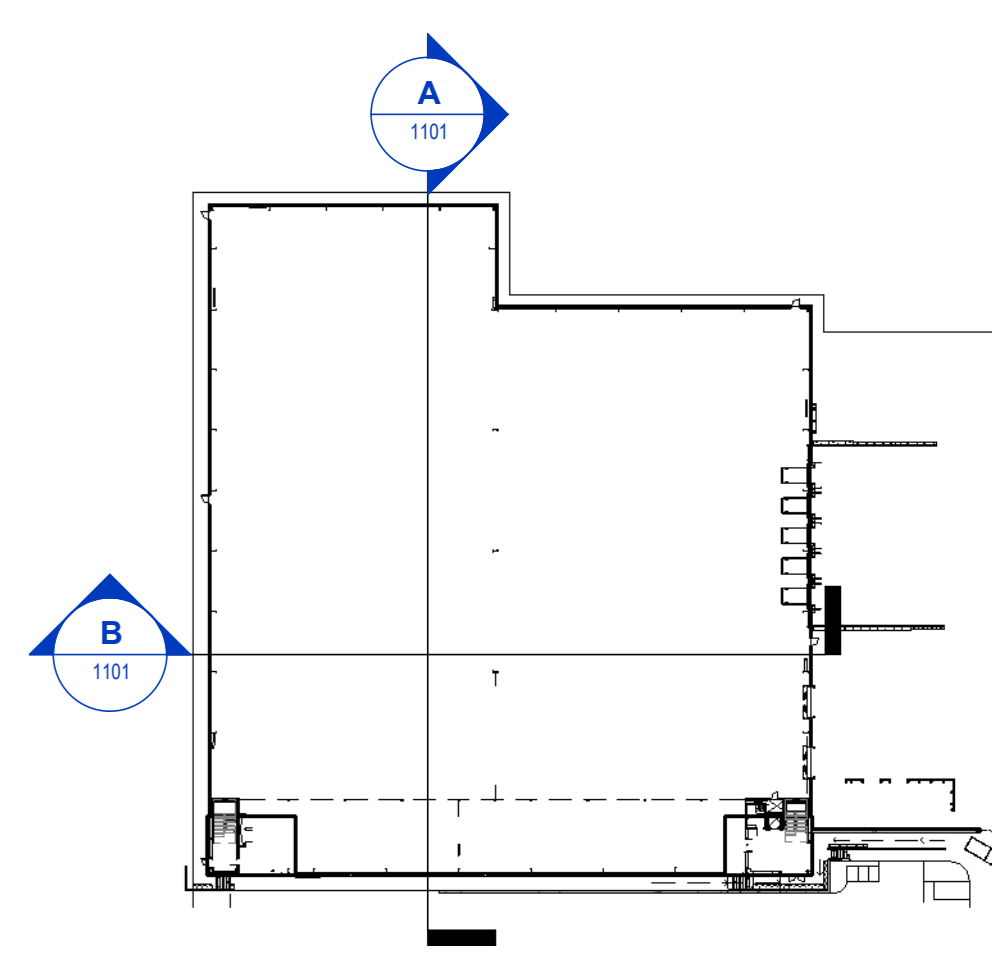
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 Date: 02/06/23
 Scale: As indicated © AD
 UMC Project Number: 22400

Document Reference: Drawing no: Revision:
 P23025_UMC_BR_ZZ_DR_A_1002 CR1

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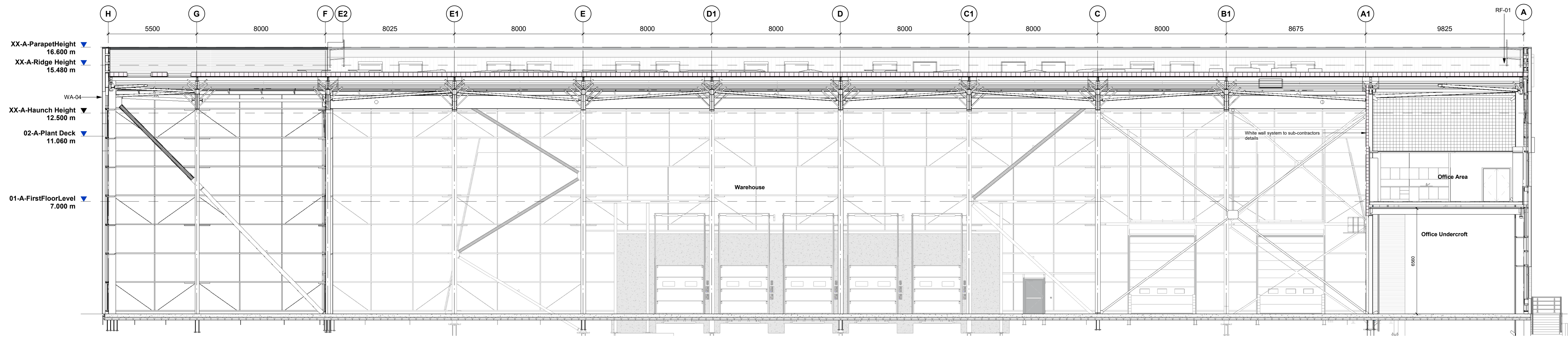


Key Plan
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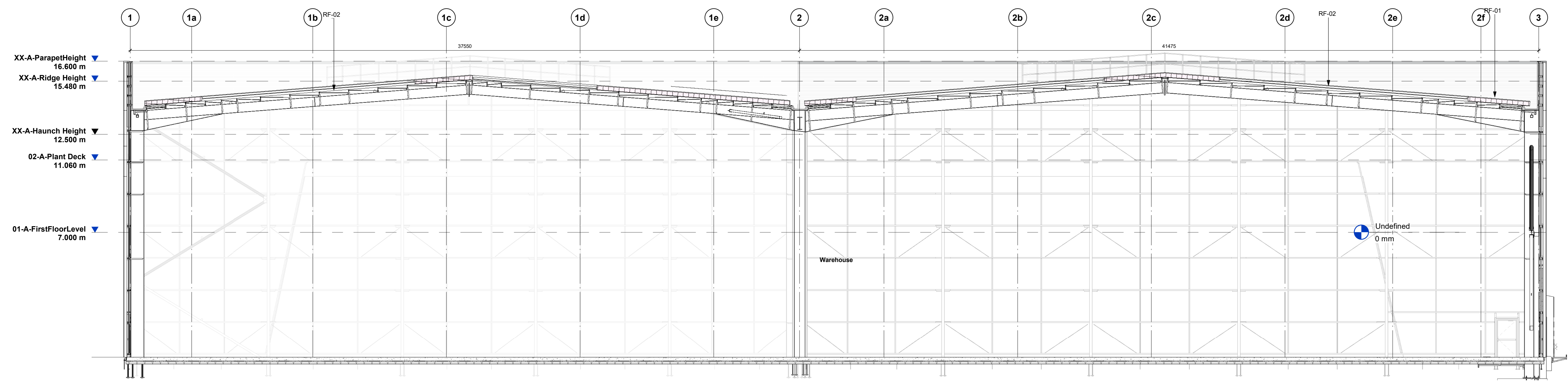
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External Walls	0.26 W/m ² K
Roof	0.18 W/m ² K
Ground Floor	0.18 W/m ² K
Windows	1.50 W/m ² K
Level Access Doors	0.40 W/m ² K
Personnel Doors	1.80 W/m ² K
Rooflights	1.30 W/m ² K

Section Key	
PA-01	PPC aluminium feature flashing/ capping detail Colour: Anthracite (RAL 7016)
RF-01	Horizontally laid CA Twin-Therm 32/1000R Built Up Cladding Finish: HFS200 Ultra Colour: Goosewing Grey (RAL 7038)
RH-01	Biko Companionway Access Roof Hatch CS-SUTB with BilGuard 2.0 Hatch Rolling system. Accessed via a ships ladder.
WA-01	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish: Prism Solid Colour Colour: Hamlet (RAL 9002)
WA-02	Horizontally laid CA Twin-Therm Micro Rib Built Up Cladding Finish: Prism Solid Colour Colour: Slate Grey (RAL 7012)
WA-04	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish: Prism Solid Colour Colour: Anthracite (RAL 7016)
WA-05	Concrete Prowall System
WI-01	Glazing system & framing Colour: Anthracite (RAL 7016)

NOTE:
Steelwork to be designed by Specialist.



Section A
1: 100



Section B
1: 100

CR1	Construction Record Issue	LK	SW	27.08.24
RF2	Issued for review and comment	SW	LK	08.12.23
P01	Preliminary Issue	SW	LK	24.11.23

rev | amendments | by | ckd | date

Horton Road, Poyle
Overall Sections

Information Container LOIN

LOD 4	LOI 2
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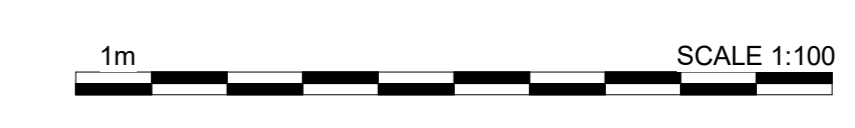
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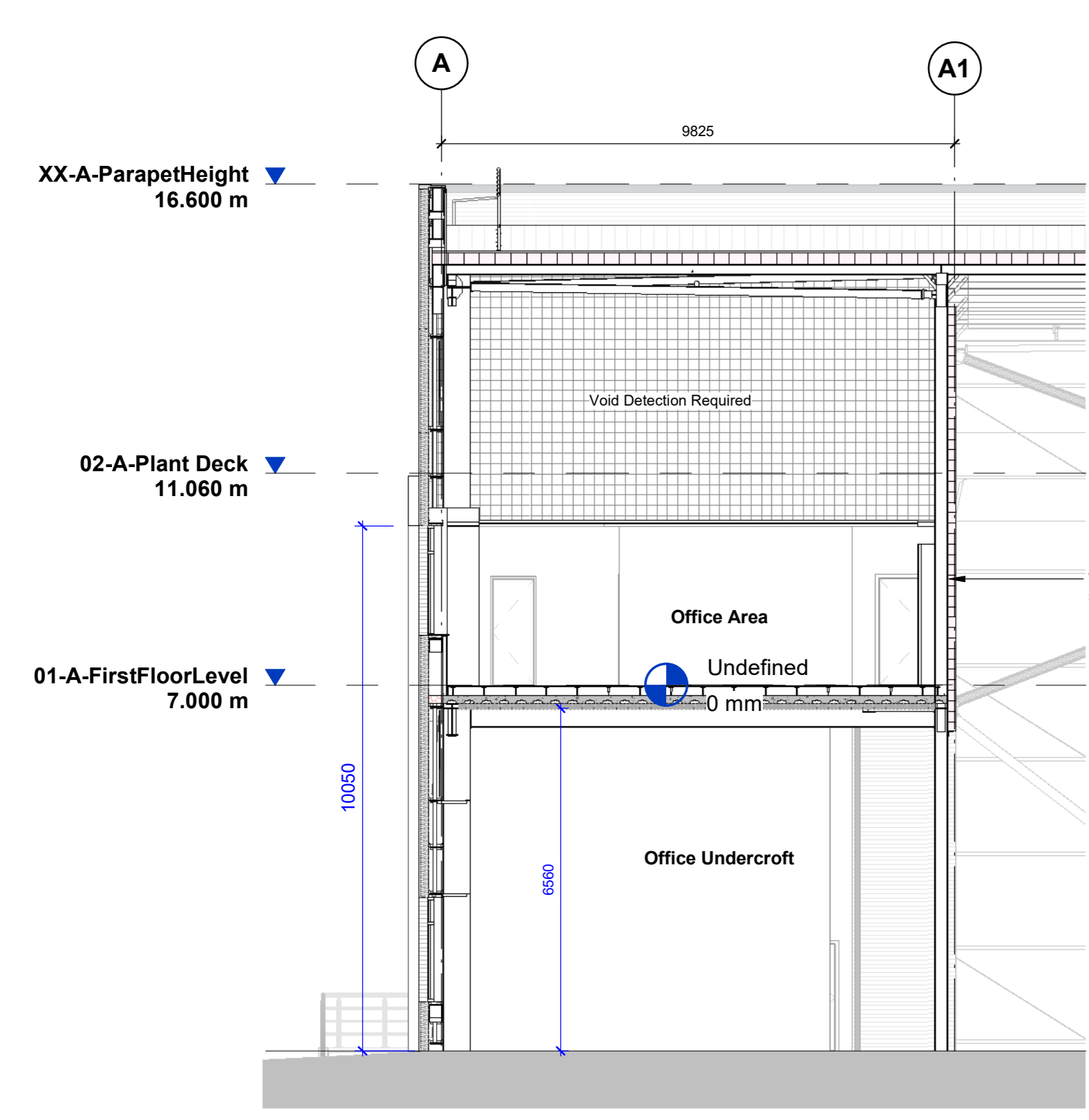
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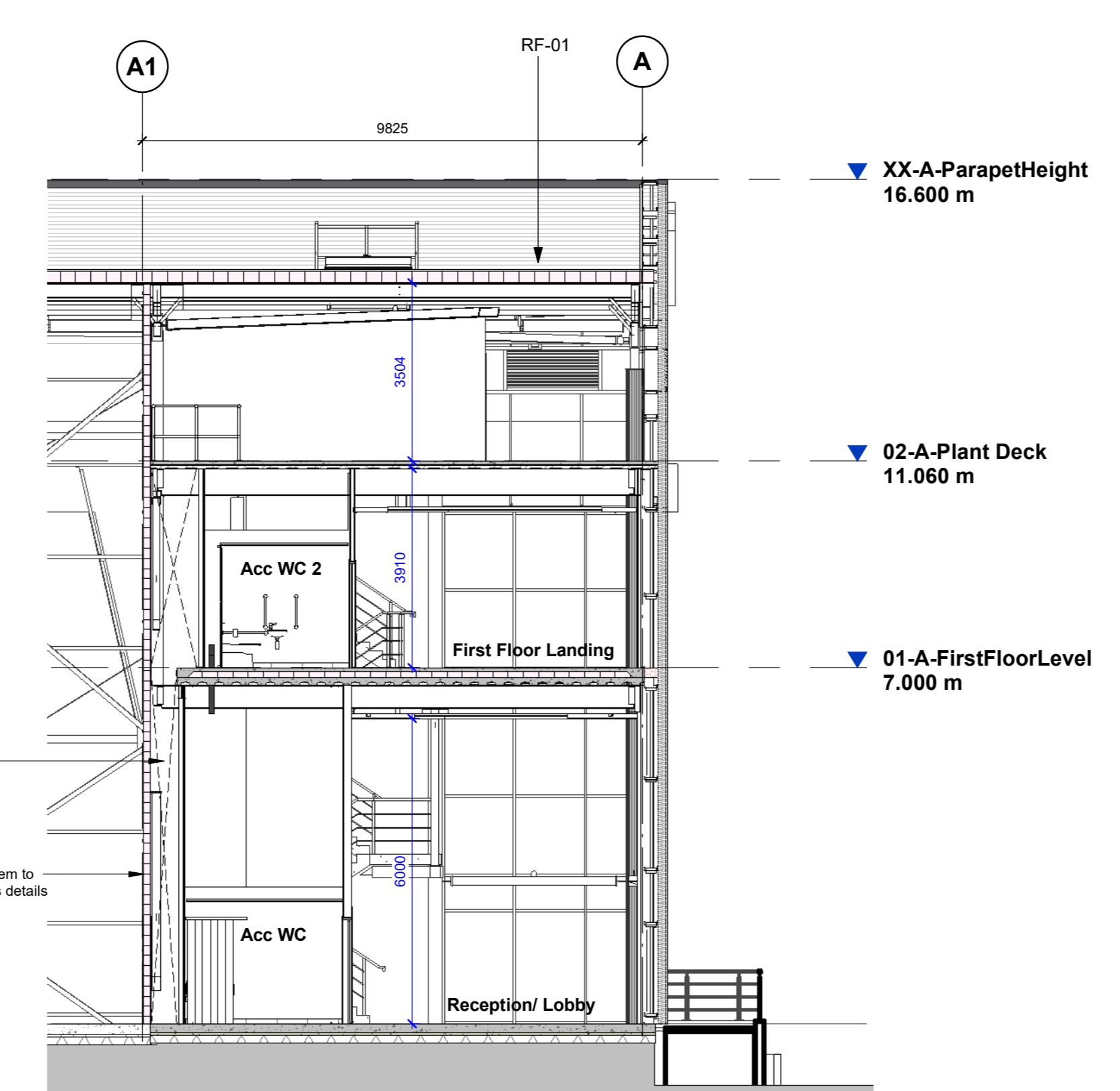


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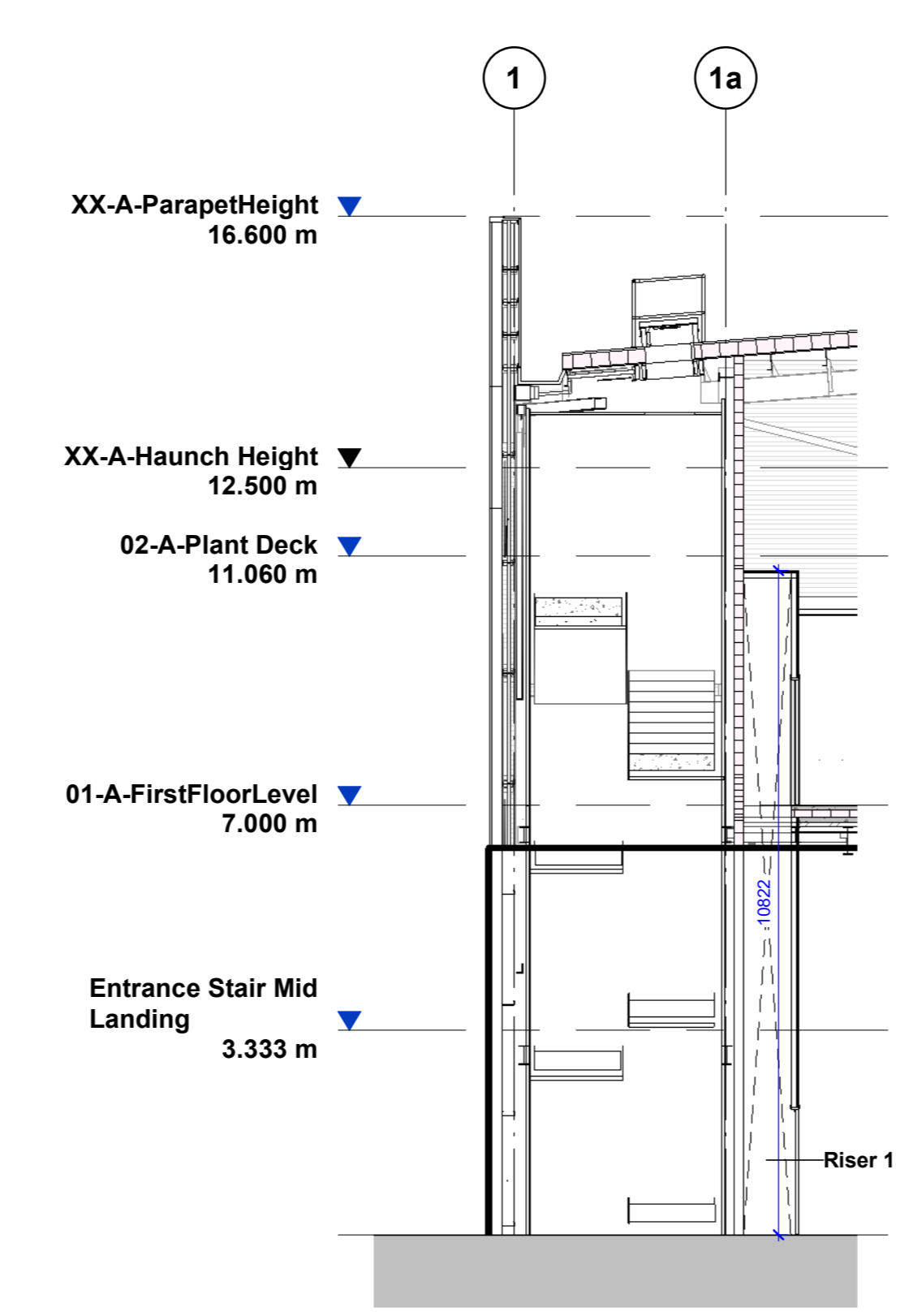
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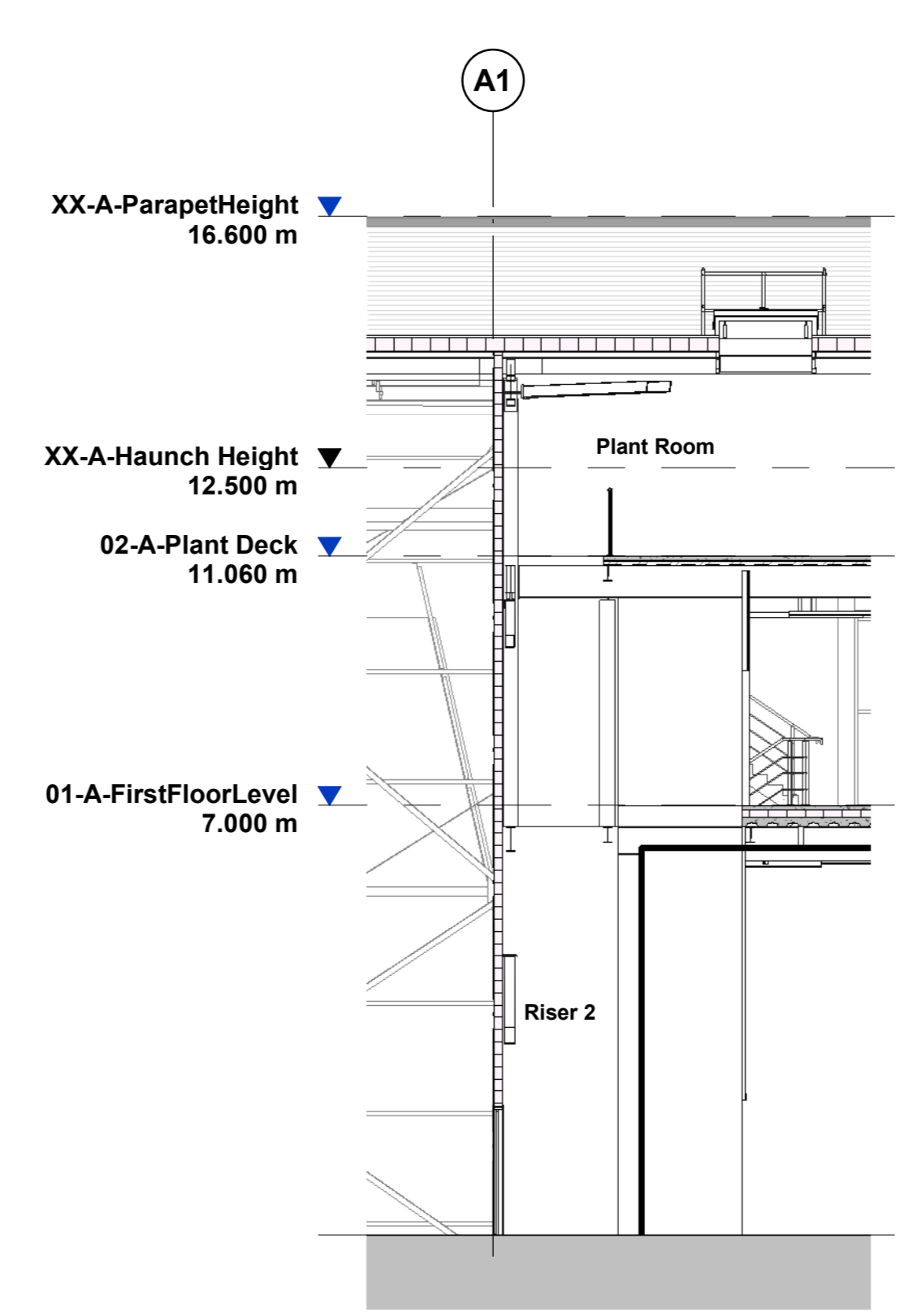
Office Section A
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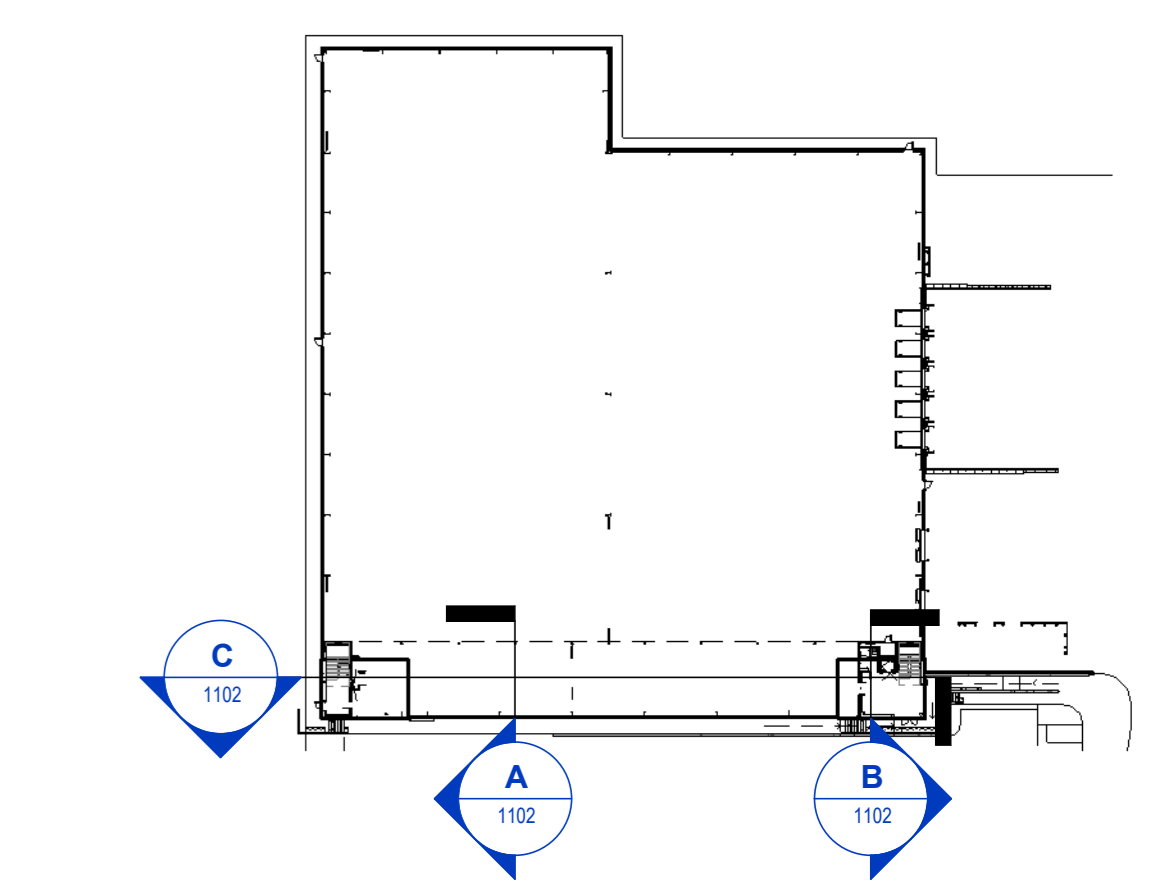
Office Section B
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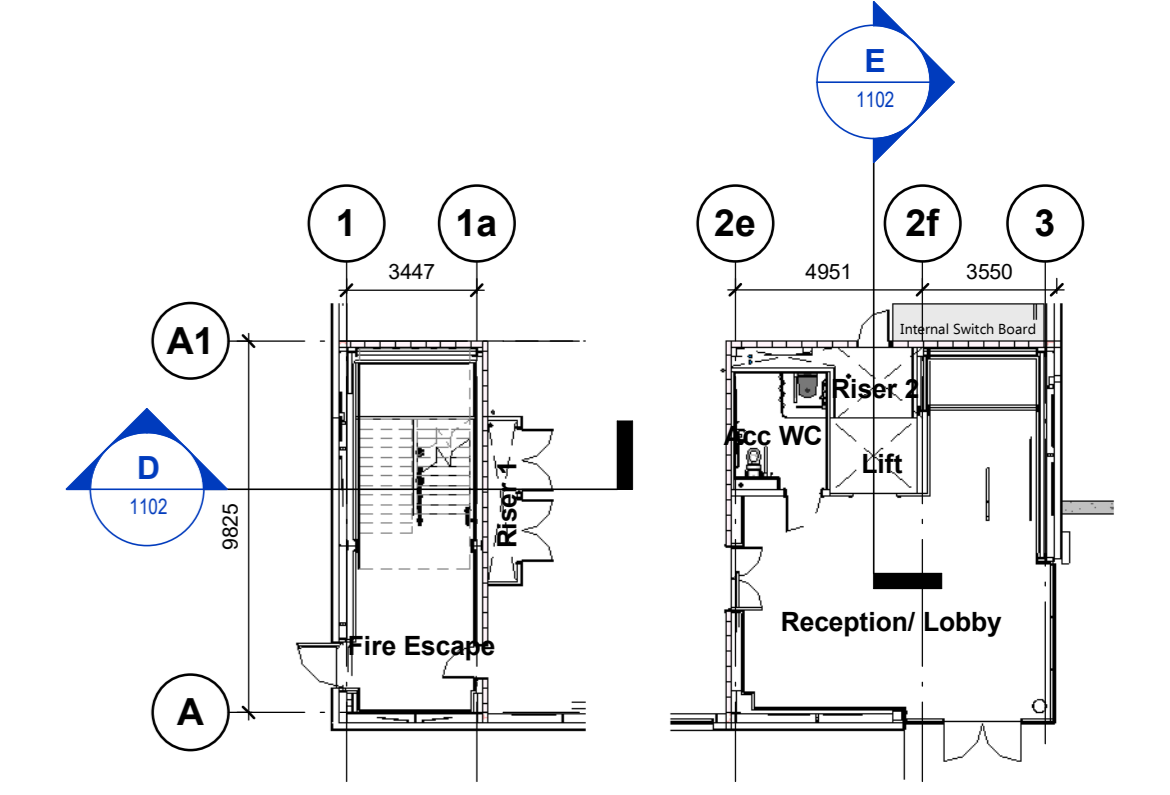
Office Section D
1 : 100



Office Section E
1 : 100



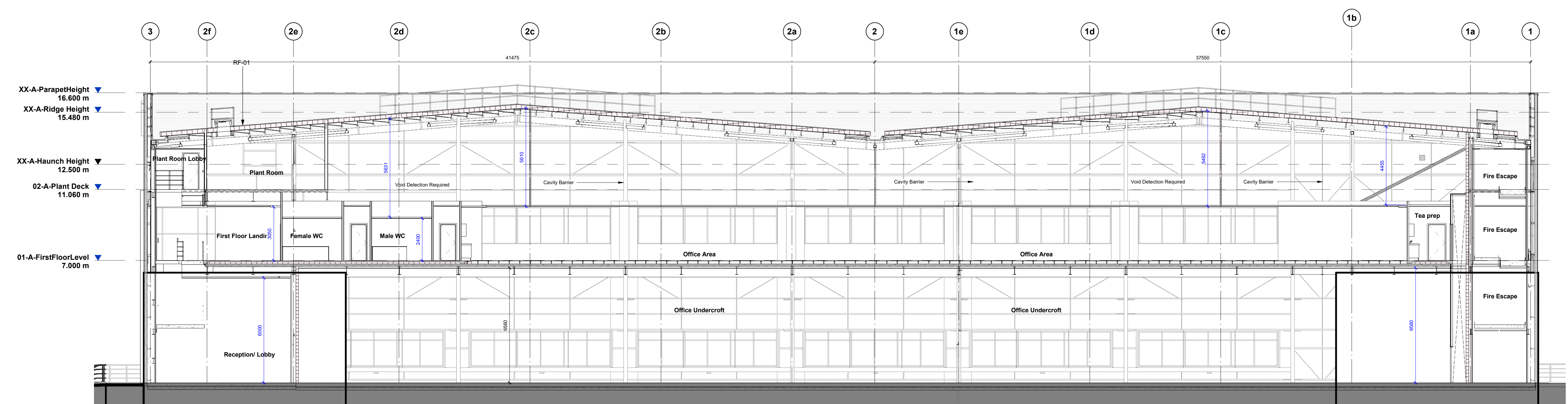
Key Plan
1 : 1000



Office Key Plan
1 : 200

U-Value Key	
Element	U-Value
External Walls	0.26 W/m ² K
Roof	0.18 W/m ² K
Ground Floor	0.18 W/m ² K
Windows	1.50 W/m ² K
Level Access Doors	0.40 W/m ² K
Personal Doors	1.50 W/m ² K
Rooflights	1.30 W/m ² K

Section Key	
PA-01	PPC aluminium feature flashing/ capping detail Colour: Anthracite (RAL 7016)
RF-01	Horizontally laid CA Twin-Therm 32/1000R Built Up Cladding Finish: HPS200 Ultra Colour: Goosewing Grey (RAL 7038)
RH-01	Bilco Companionway Access Roof Hatch CS-50TB with BiGuard 2.0 Hatch Railing system. Accessed via a ships ladder.
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WA-02	Horizontally laid CA Twin-Therm Micro Rib Built Up Cladding Finish - Prism Solid Colour Colour: Slate Grey (RAL 7012)
WA-04	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish - Prism Solid Colour Colour: Anthracite (RAL 7016)
WA-05	Concrete Prowall System
WI-01	Cladding system & framing Colour: Anthracite (RAL 7016)



Office Section C
1 : 100

CR1	Construction Record Issue	LK	27.08.24
CR1	Sections cut through floor 1 and 2 have been included for	SW	05.09.24
PR2	Issued for review and comment	SW	08.12.23
P01	Preliminary Issue	SW	24.11.23

Horton Road, Poyle
 Office Sections

Information Container LOIN

LOD 4	LOI 2
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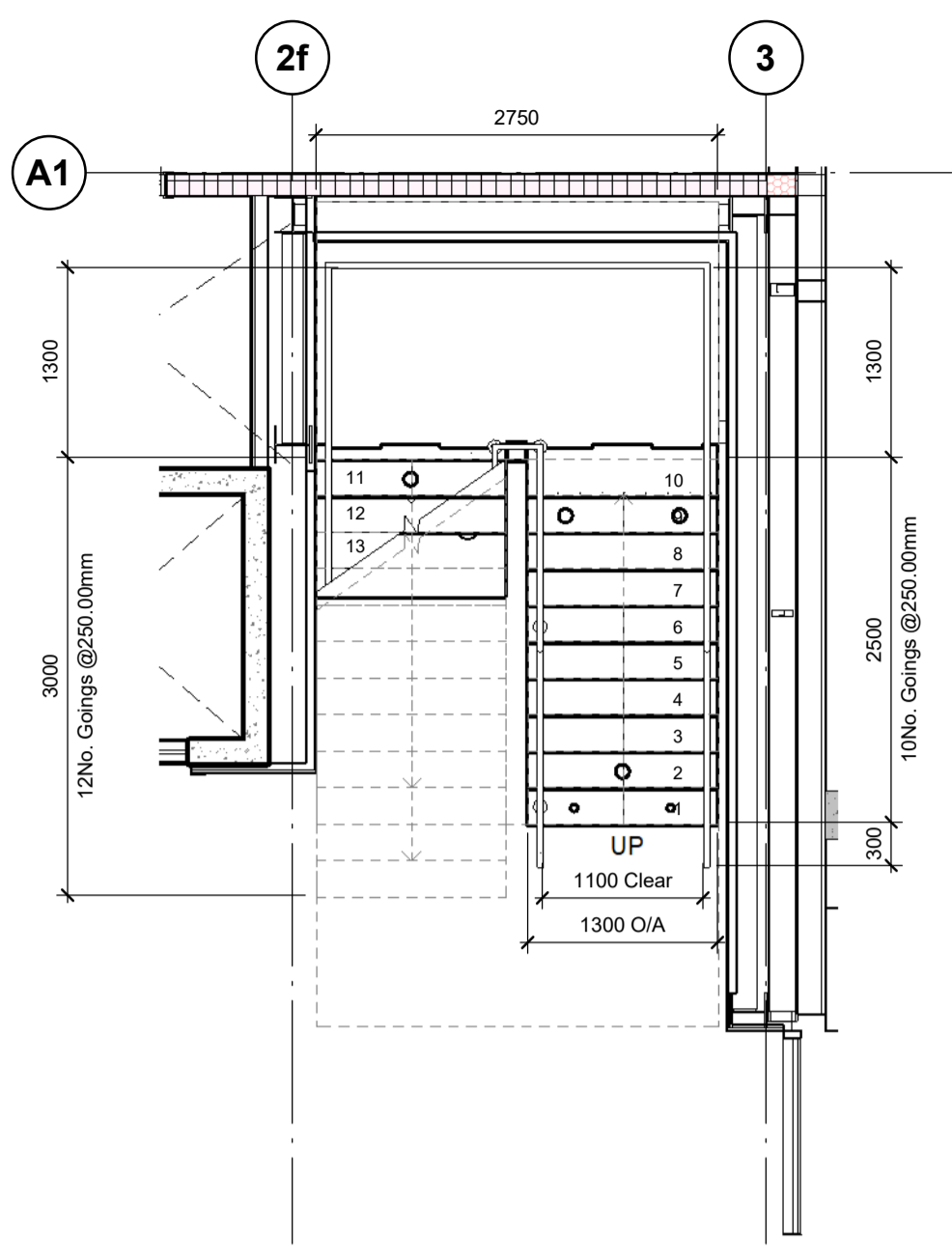
RIBA Plan Stage: Stage 4 - Detailed Design
 Document Suitability: CR
 Drawn / Checked: SW/LK
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 UMC Project Number: 22400

Document Reference: Drawing no: P23025_UMC_BR_ZZ_DR_A_1102 Revision: CR1

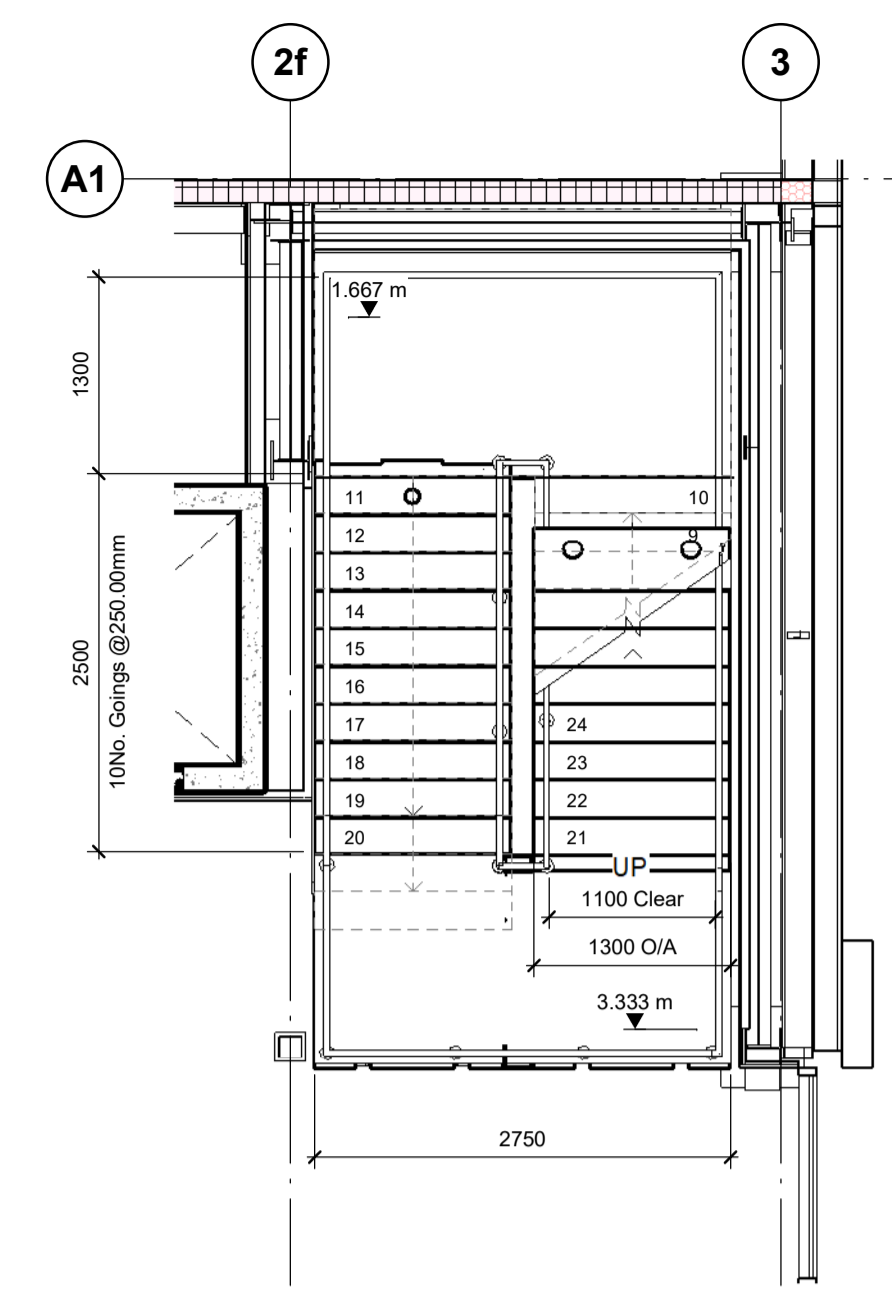
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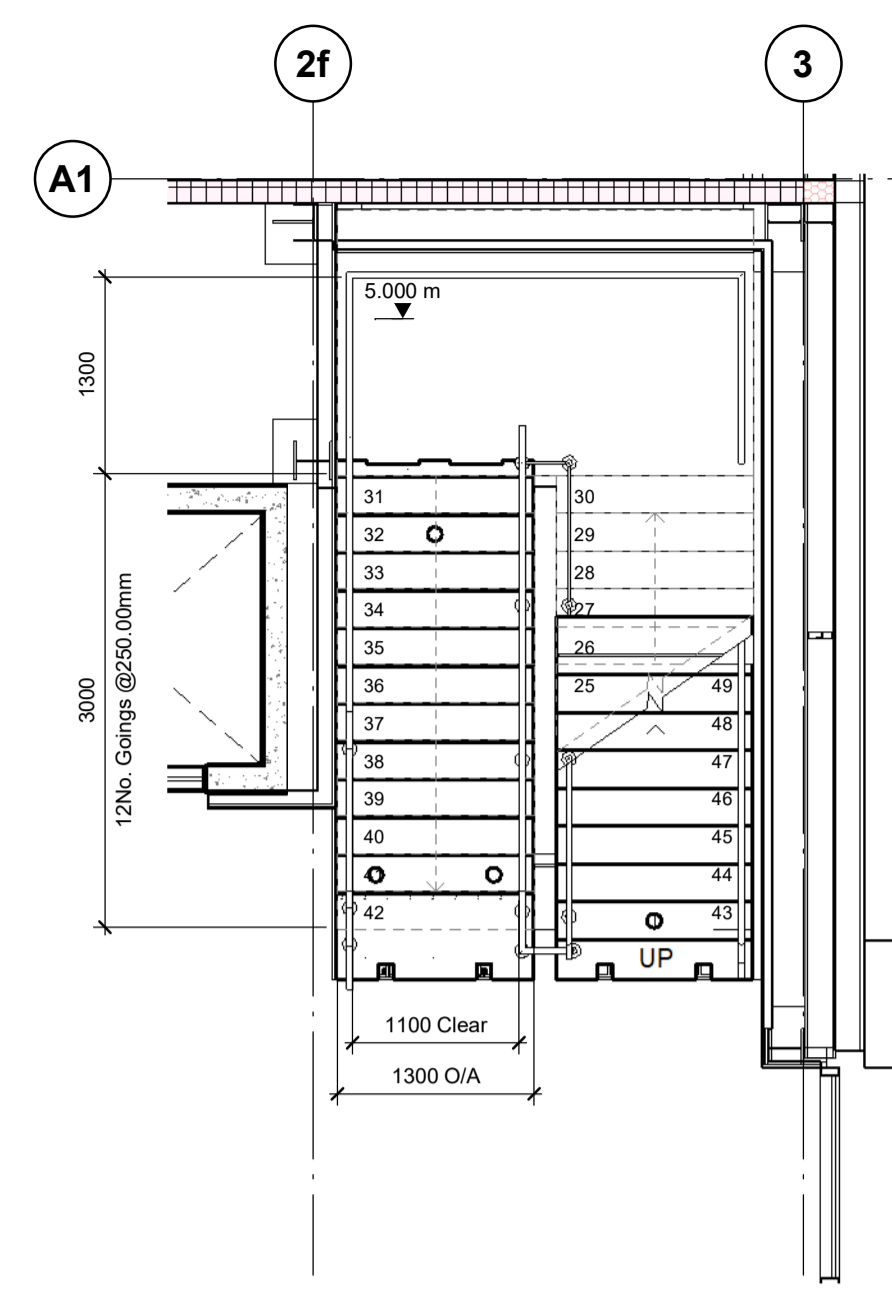
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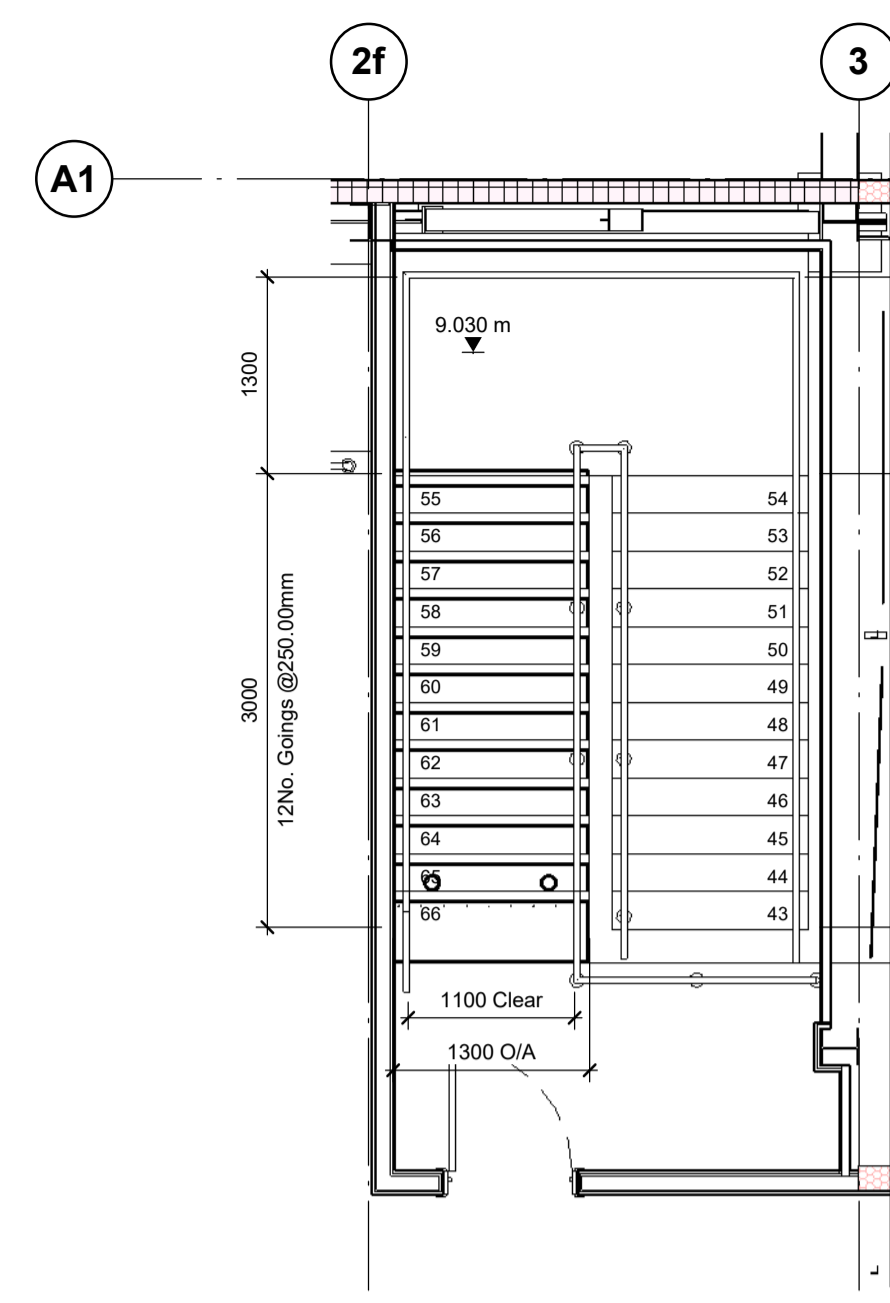
Entrance Stair GF Plan
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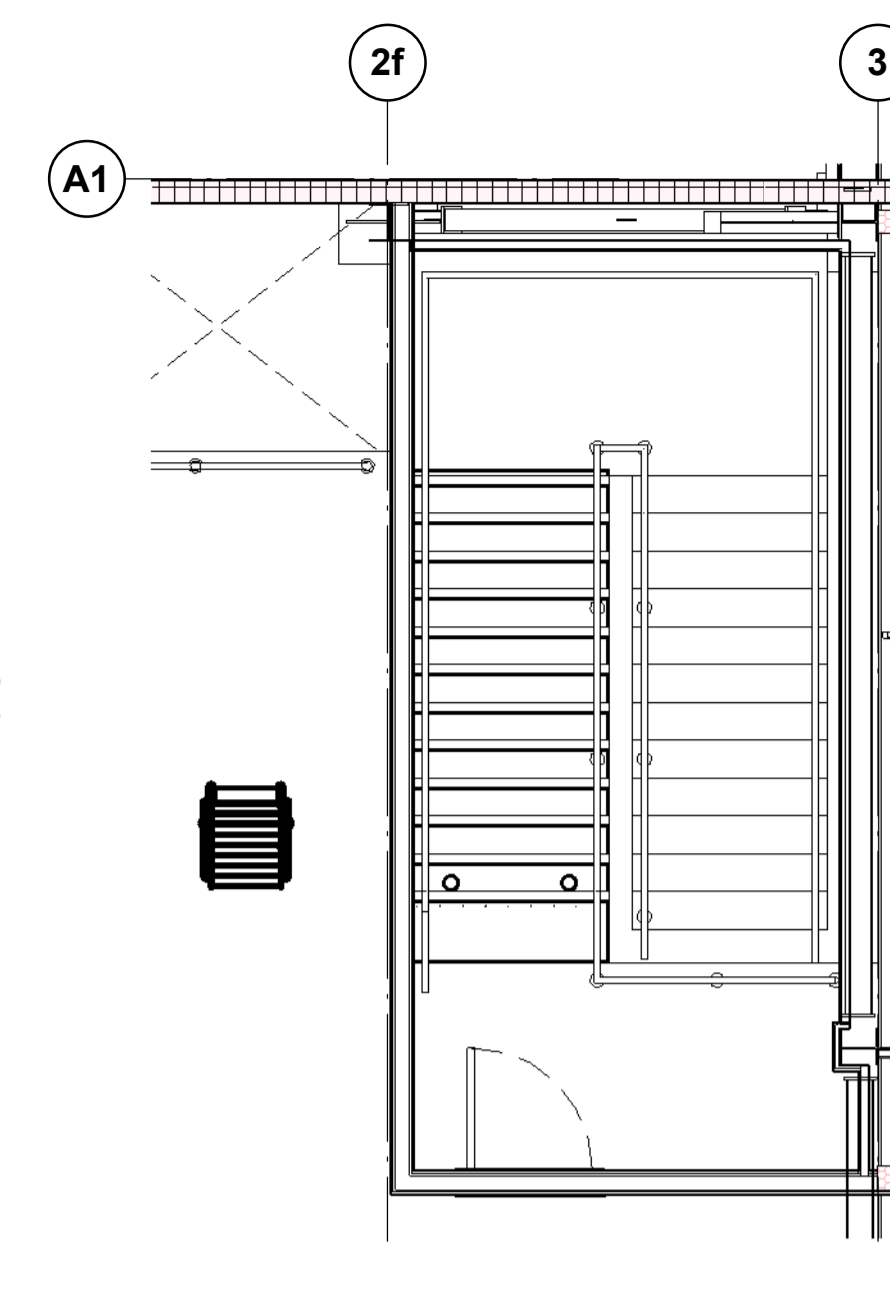
Entrance Stair Mid Landing
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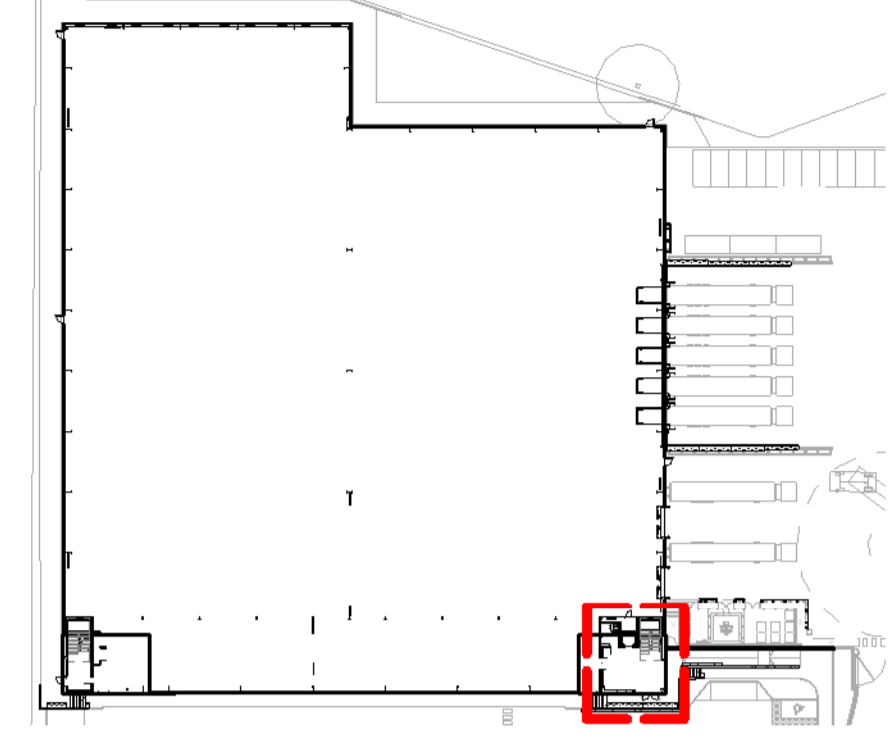
First Floor Stair Plan
1 : 50



Plant Deck Stair Plan
1 : 50

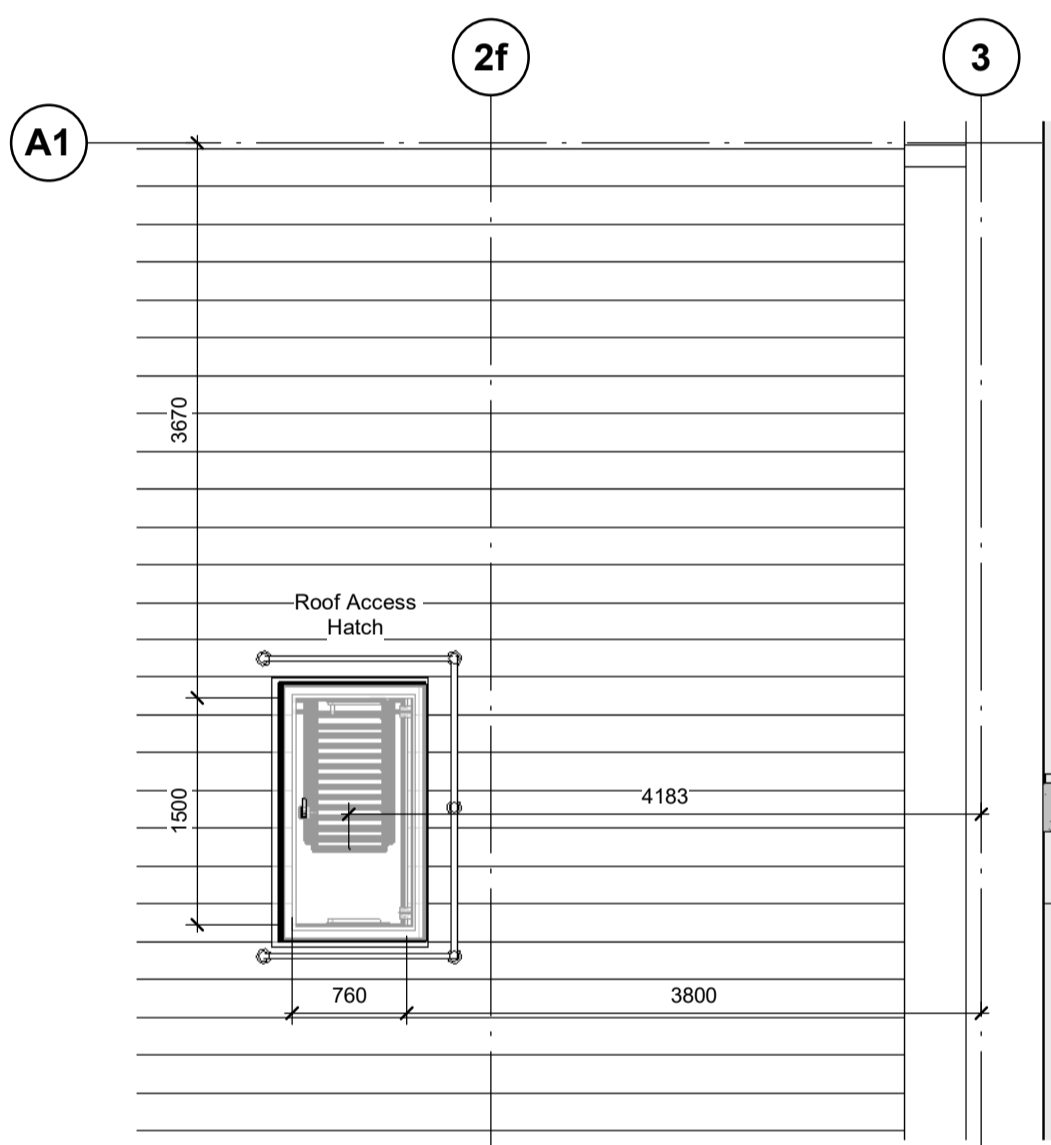


Roof Stair Plan
1 : 50

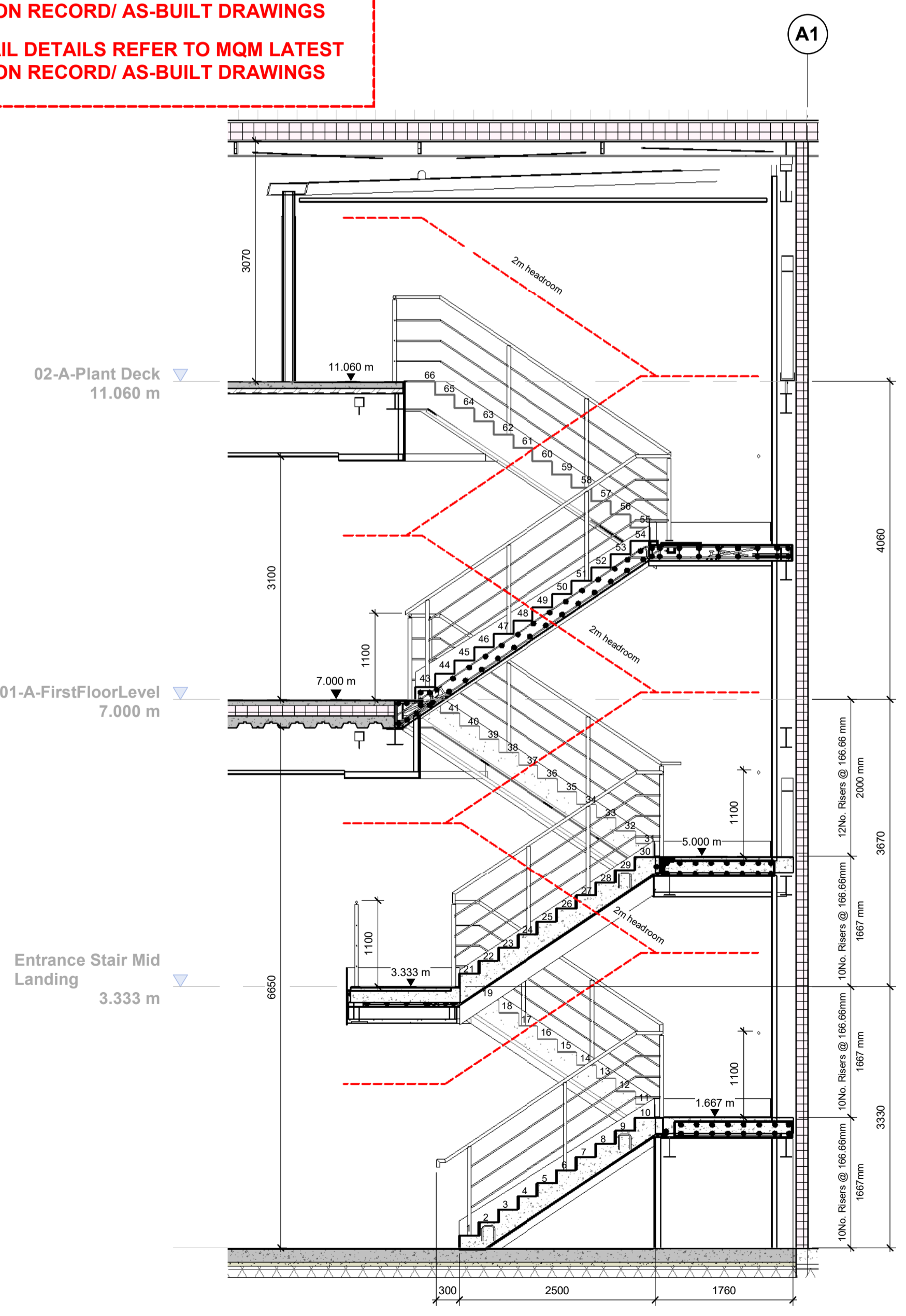


Key Plan
1 : 1000

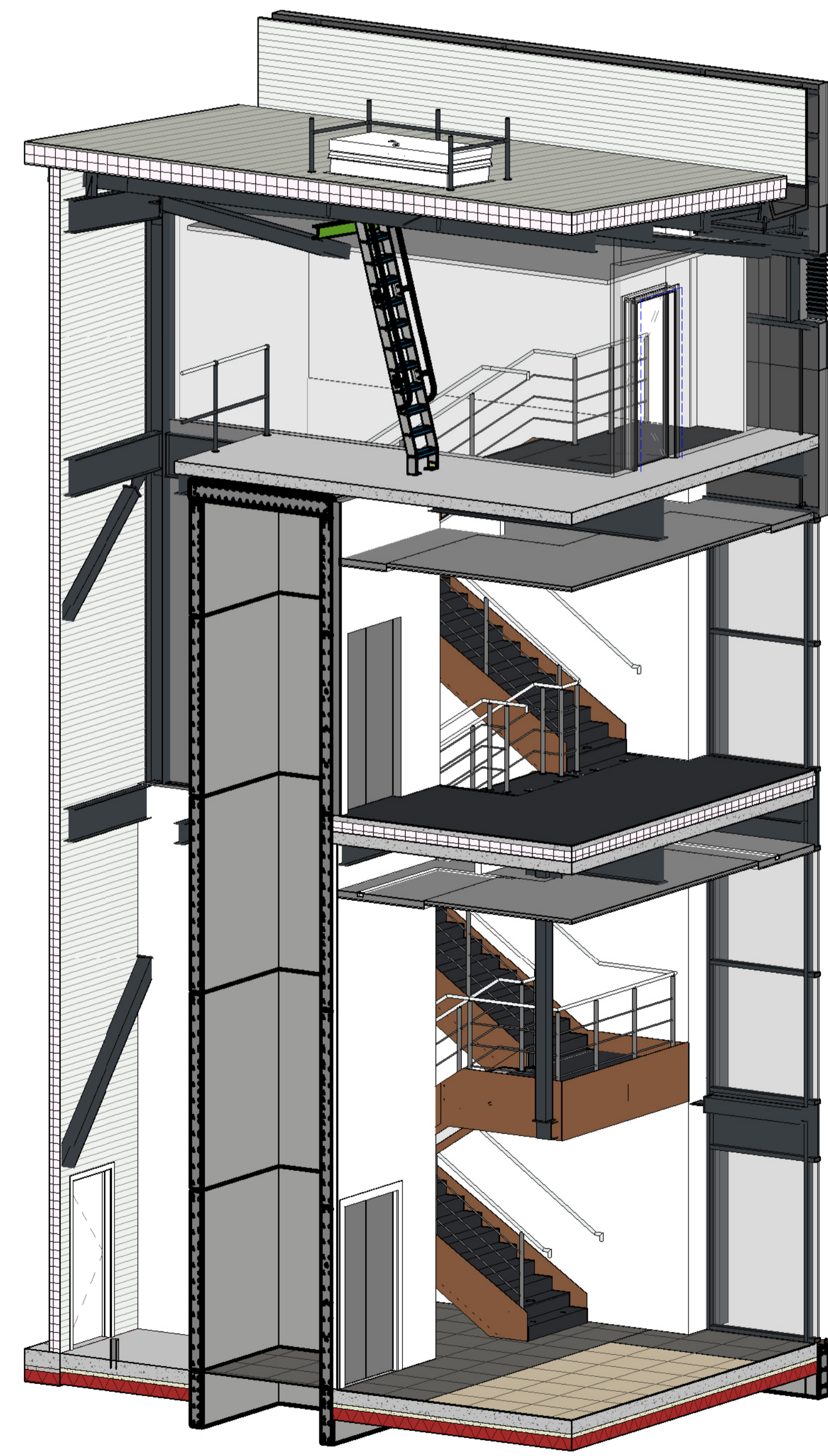
FOR STAIR DETAILS REFER TO FP MCANN LATEST CONSTRUCTION RECORD/ AS-BUILT DRAWINGS
 FOR HAND RAIL DETAILS REFER TO MQM LATEST CONSTRUCTION RECORD/ AS-BUILT DRAWINGS



Roof Plan
1 : 50



Entrance Stair Section A-A
1 : 50



Entrance Stair 3D



General Notes:

Stair to conform to guidelines in Building Regulations Part K and M.

Staircases and landings to upper floor offices will be designed and constructed in precast concrete to the Structural Engineer's details.

Staircase walls are to be dry lined and fixed independently to the floor slab to prevent deterioration due to thermal movement.

Nosing's to be slip resistant and contrasting in colour to main tread in accordance with BS 8300-2:2018

All balustrades and handrails are to be designed by a specialist fabricator with drawings provided for comment prior to any manufacture.

All stair drawings to be submitted to Architect and approved inspector for comments prior to manufacture. Dimensions to be checked on site prior to manufacture.

Handrail:
 300mm (min) on stair
 1100mm (min) on landings
 300mm (min) projection off last tread
 1000mm (min) Clear between handrails

For stair design please refer to FP McCann:
 P23025-FPM-ZZ-00-DR-X-0201

For balustrade design please refer to MQM:
 P23025-MQM-ZZ-DR-X-0011
 P23025-MQM-ZZ-DR-X-0012

CR1	Construction Record Issue	LK	SW	27.08.24
C02	Drawing revised to include CAT ladder as per LK Winvic email 22/07/24, carpet finishes updated to stairs and main office to be Fern as agreed with Panattoni, splash back included to cleaners store	SW	LK	23.07.24
C01	Floor finish added to drawing following client confirmation 25.06.24.	SW	LK	27.06.24
P02	Issued following Winvic comments 19.12.23	SW	LK	21.12.23
P01	Preliminary issue	SW	LK	24.11.23

Horton Road, Poyle
Main Entrance Stair

Information Container LOIN

LOD 4	LOI 2
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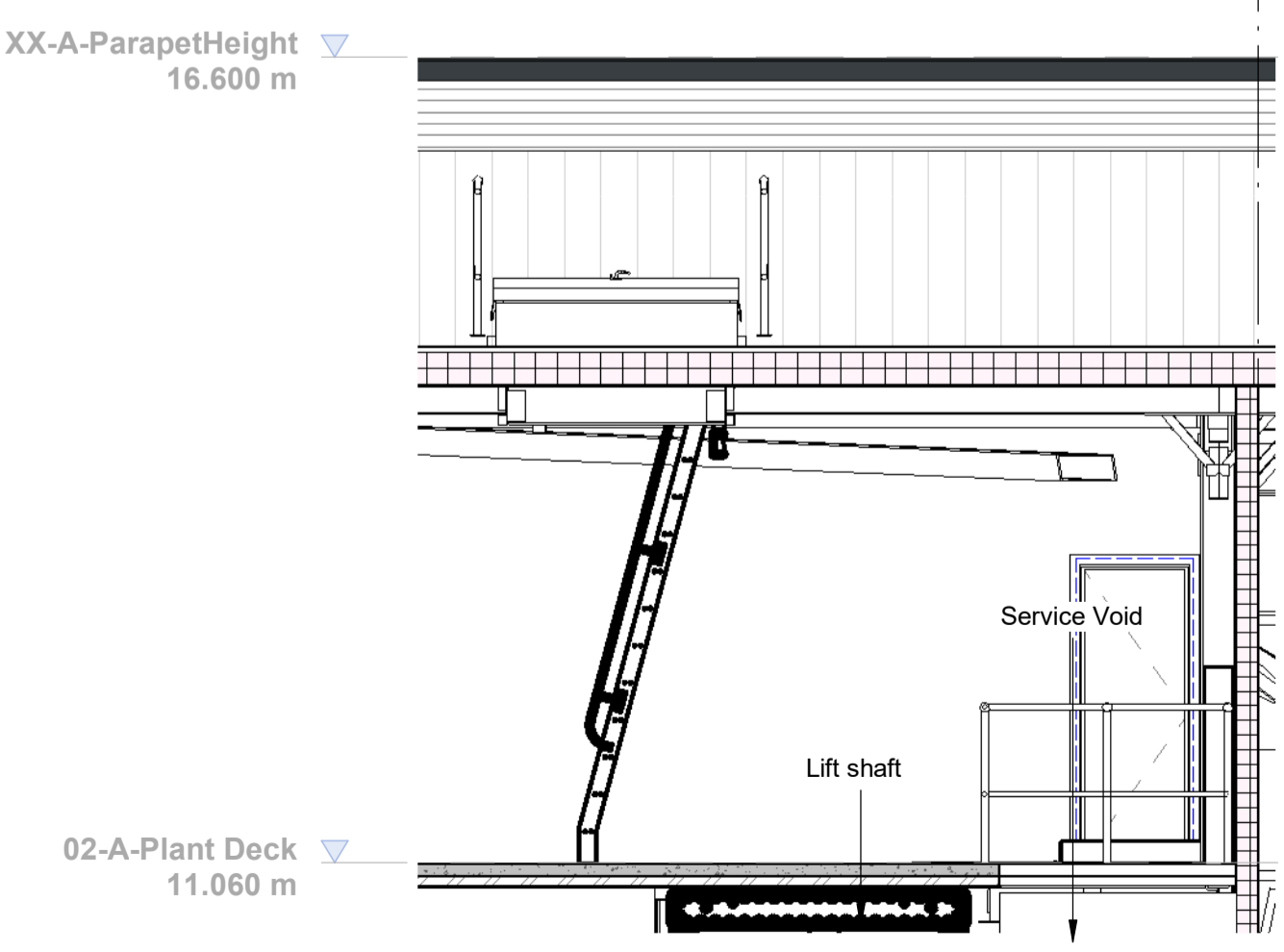
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RIBA PoW Stage: Stage 4 - Detailed Design
 Suitability / Status: CR
 Drawn / Checked: SW/LK
 Date: 14/03/23
 Scale: As indicated @ A1
 UMC Project Number: 22400

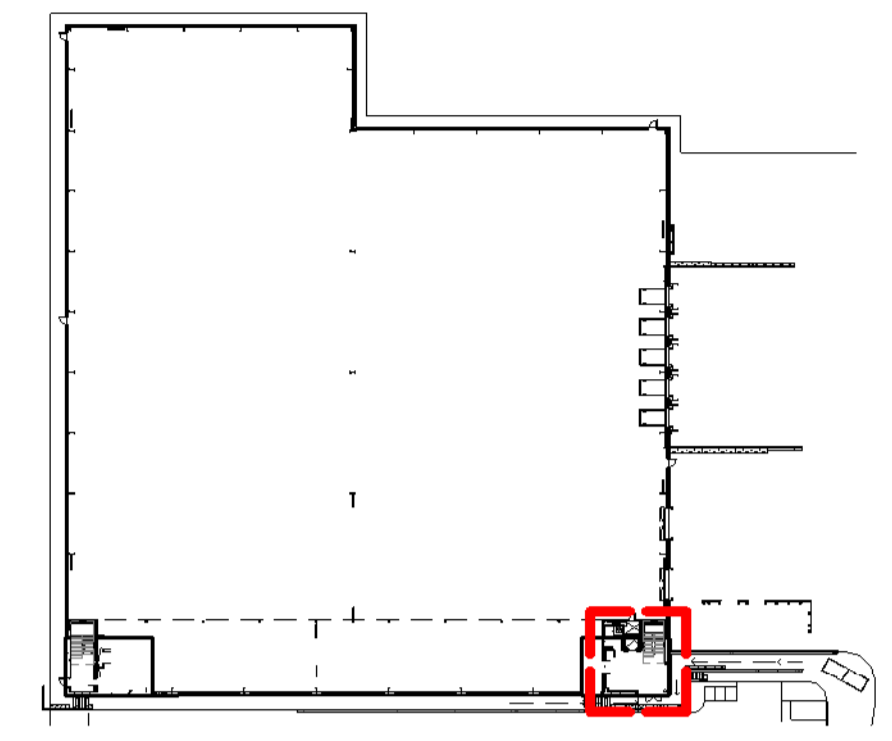
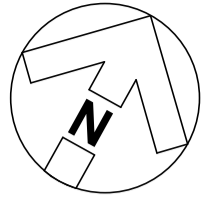
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 Drawing no: 1110
 Revision: CR1

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Roof Access Ladder Section
1 : 50

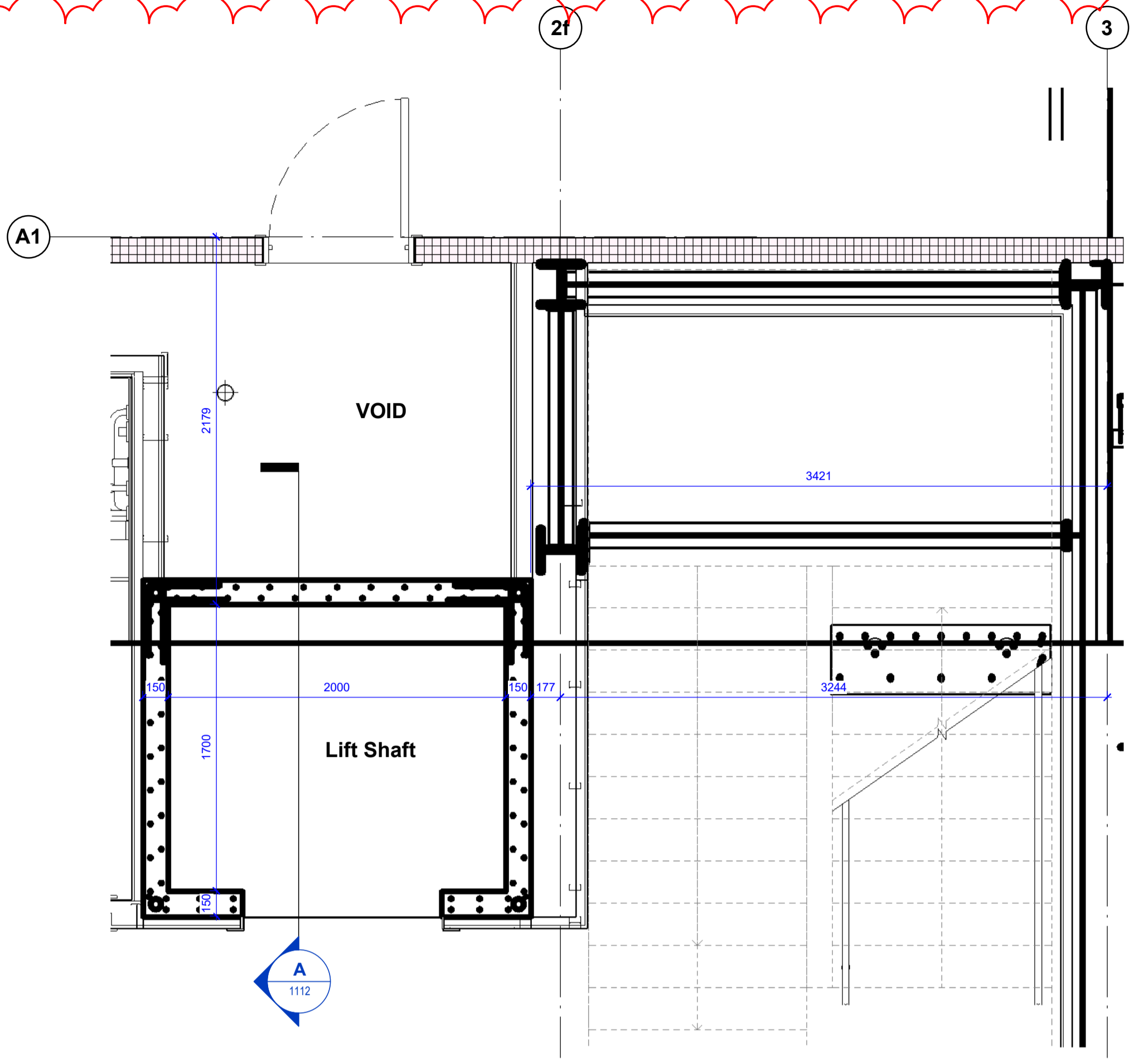
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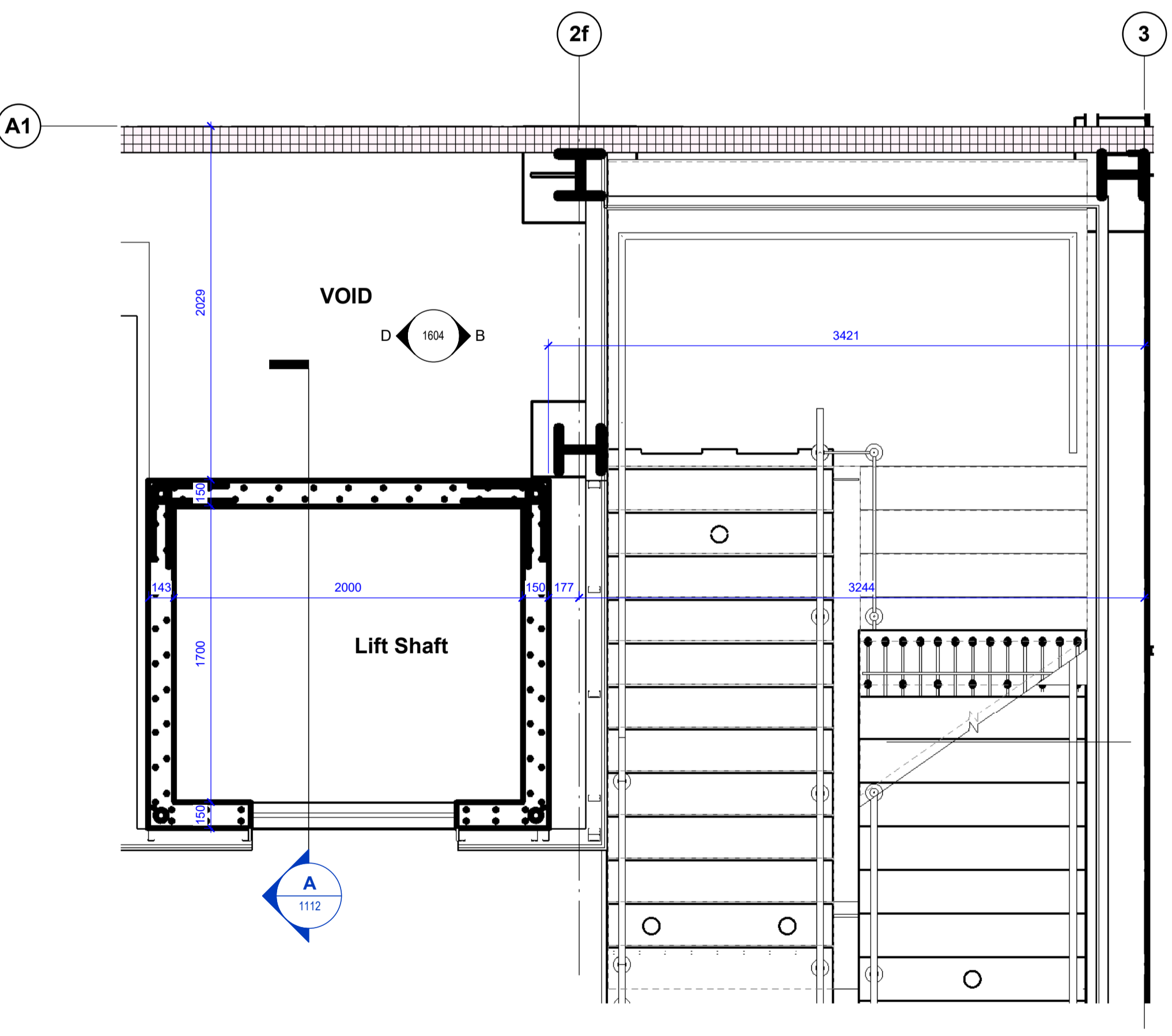
Key Plan
1 : 1000

**FOR LIFT SHAFT DETAILS REFER TO FP MCANN
LATEST CONSTRUCTION RECORD/ AS-BUILT
DRAWINGS**

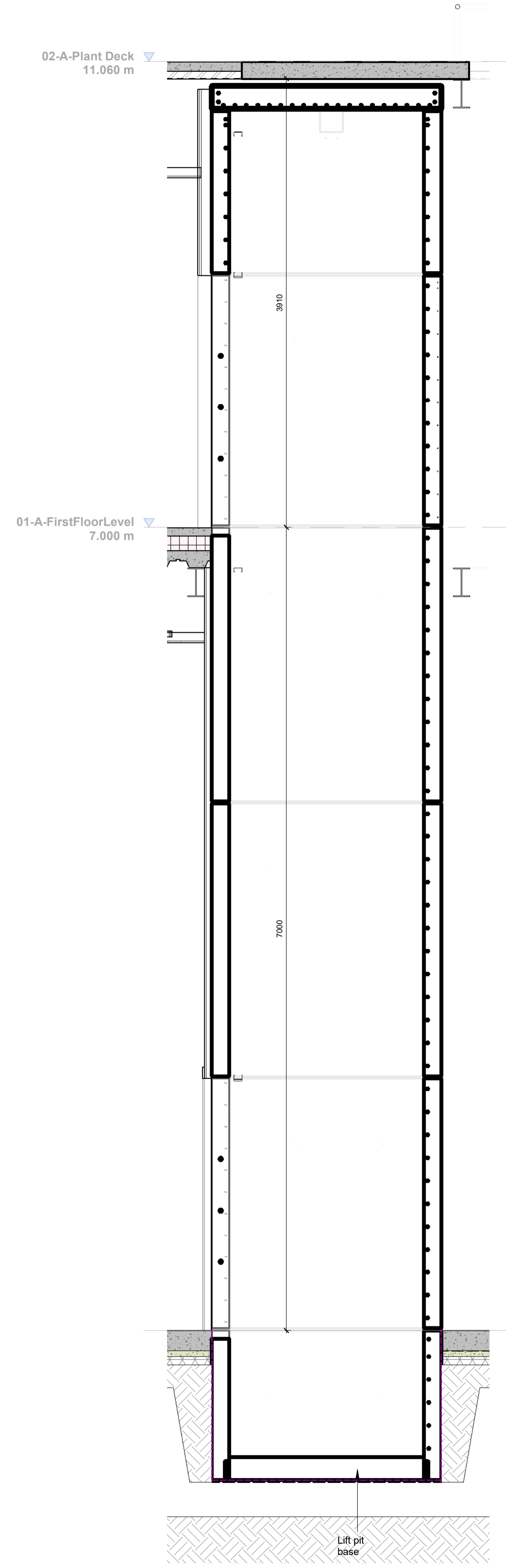
**FOR LIFT DETAILS REFER TO SCHINDLER LIFTS
LATEST CONSTRUCTION RECORD/ AS-BUILT
DRAWINGS**



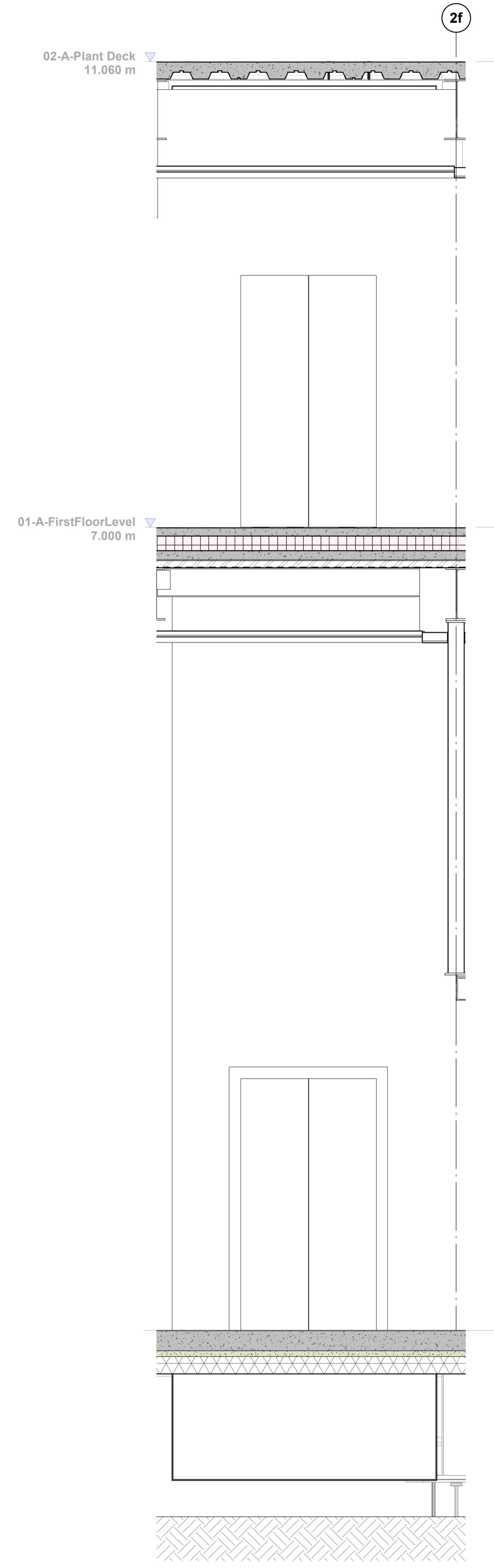
Ground Floor Lift Shaft Plan
1 : 25



First Floor Lift Shaft Plan
1 : 25



Lift Section A
1 : 25



Lift Elevation A
1 : 25



CR1	Construction Record Issue	LK	SW	27.08.24
C01	Lift shaft drawing update for construction issue	SW	LK	30.04.24
P01	Preliminary Issue	SW	LK	24.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle
Lift Shaft Details

Information Container LOIN	
LOD 4	LOI 2

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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	LK / SW
Date:	27/04/23
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	P23025_UMC_BR_ZZ_DR_A_1112
Drawing no:	1112
Revision:	CR1

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NOTE:

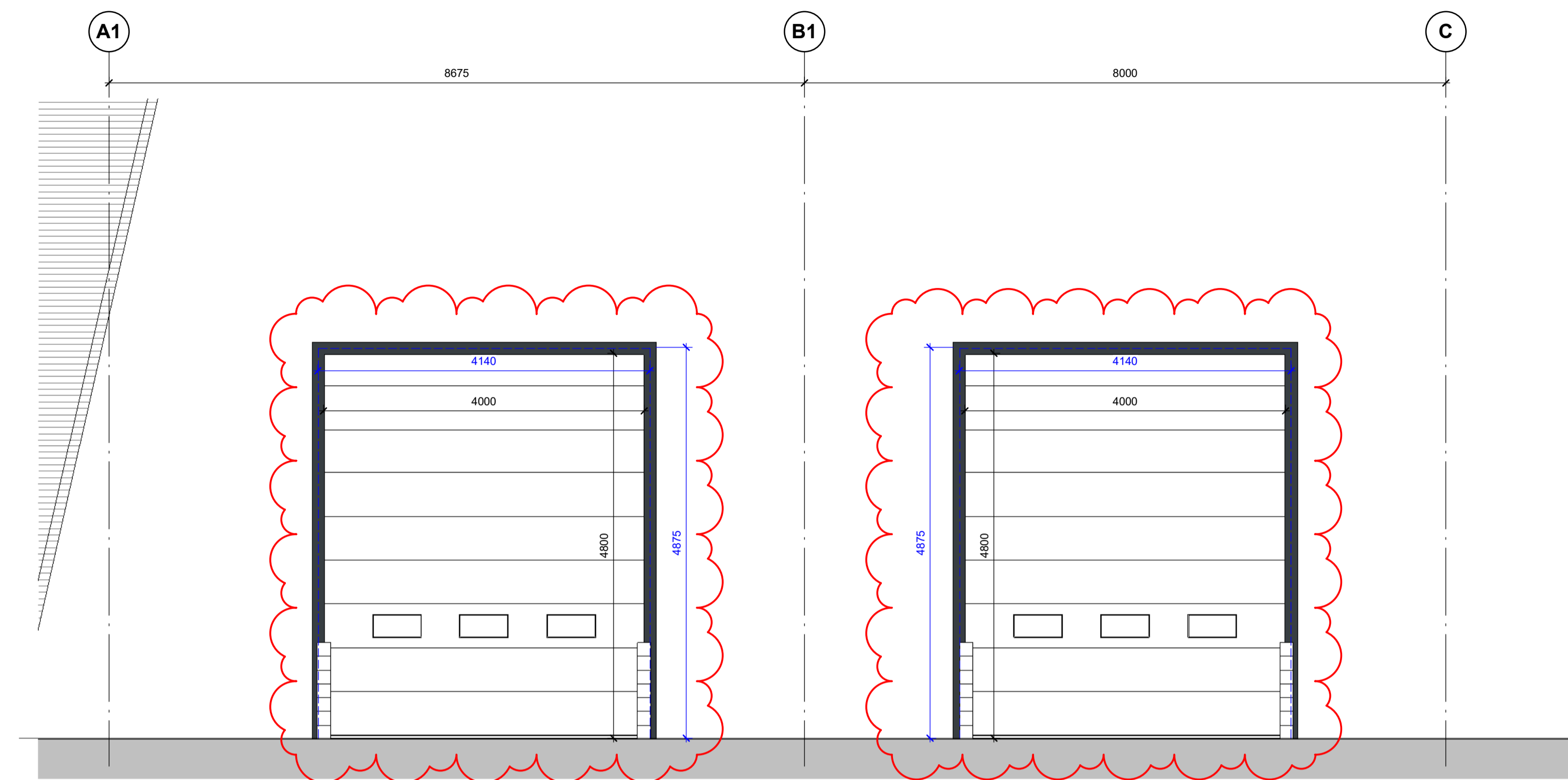
For full door details refer to the Hormann drawings:

Dock leveller doors
 P23025-HOR-ZZ-00-DR-X-0001

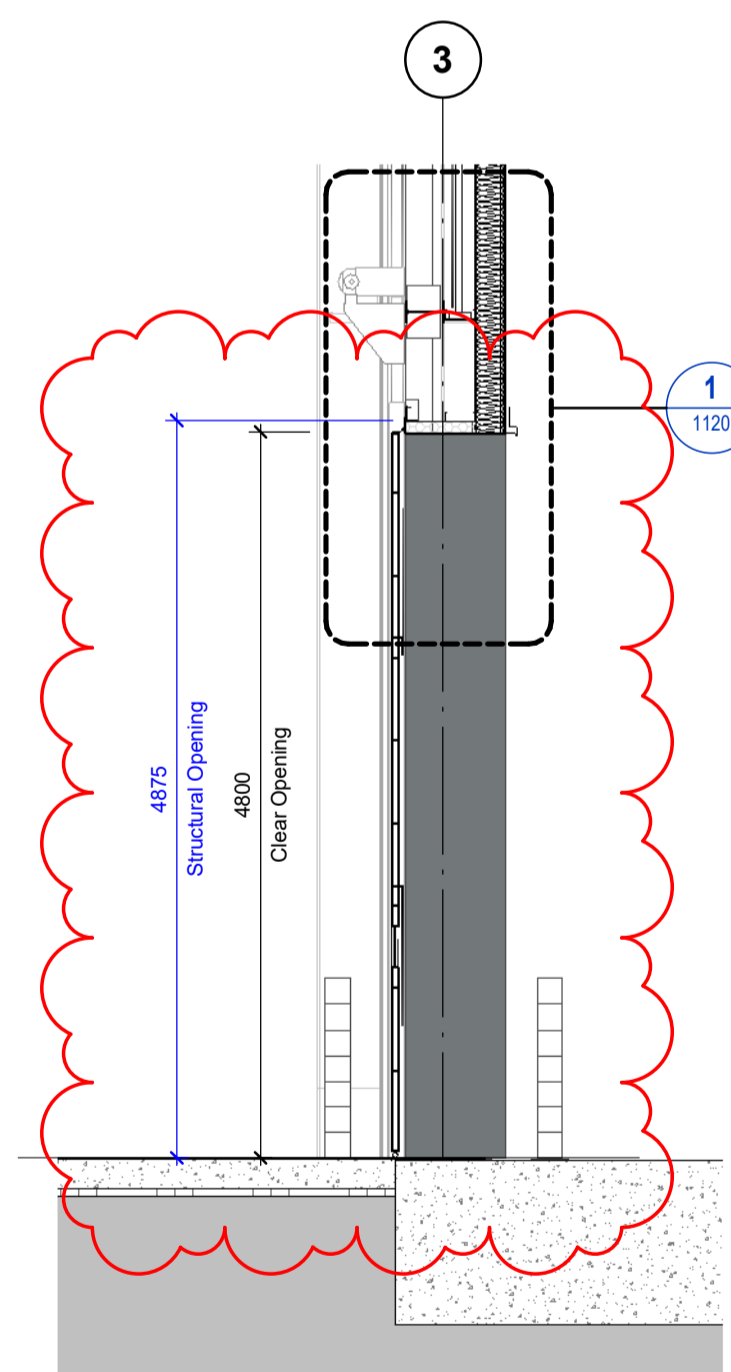
Level access doors
 P23025-HOR-ZZ-00-DR-X-0002

Single Leaf Doorset
 P23025-HOR-ZZ-00-DR-X-0003

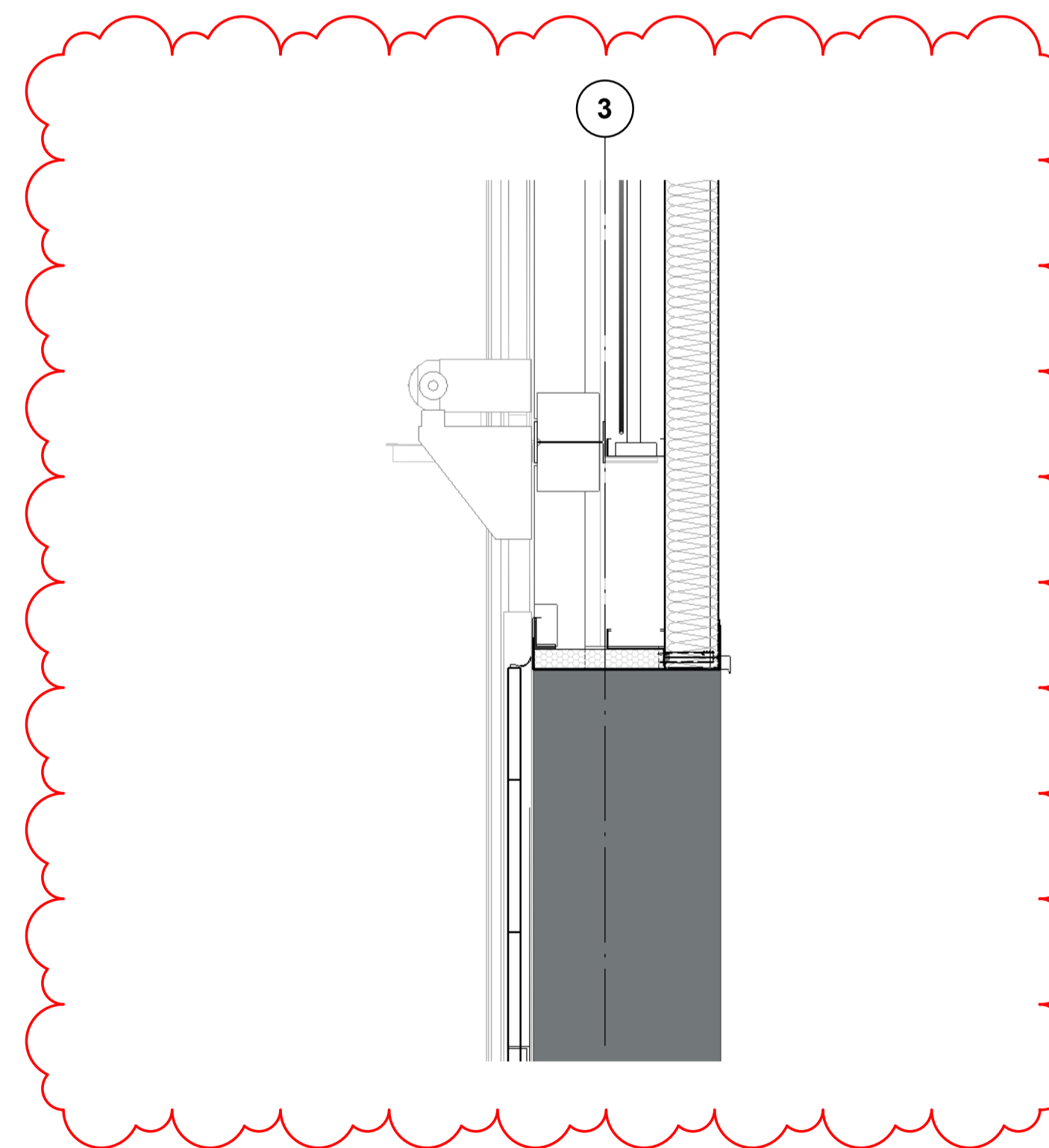
**FOR DOOR DETAILS REFER TO HORMANN DOORS
 LATEST CONSTRUCTION RECORD/ AS-BUILT
 DRAWINGS**



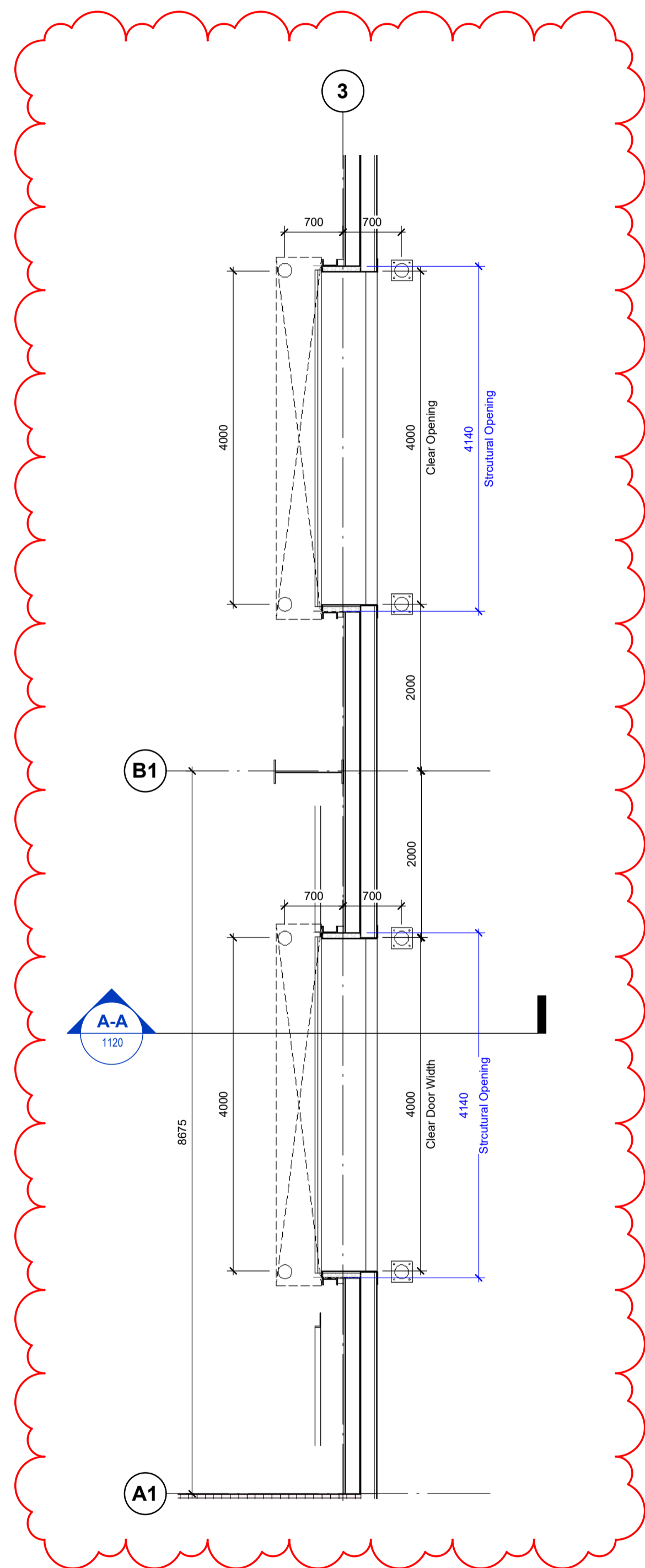
Level Access Door Elevation
 1 : 50



Level Access Door Section A-A
 1 : 50



Level Access Door Head Detail
 1 : 20



Typical Level Access Door Plan
 1 : 50

CR1	Construction Record Issue	LK	SW	27.08.24
C02	Structural opening has been updated to allow for 70mm of insulation	LK	SW	14.02.24
C01	Issued following the receipt of the Hormann drawings	SW	LK	09.02.24
P01	Preliminary Issue	SW	LK	24.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle
 Level Access Door Details

Information Container LOIN	
LOD 4	LOI 2

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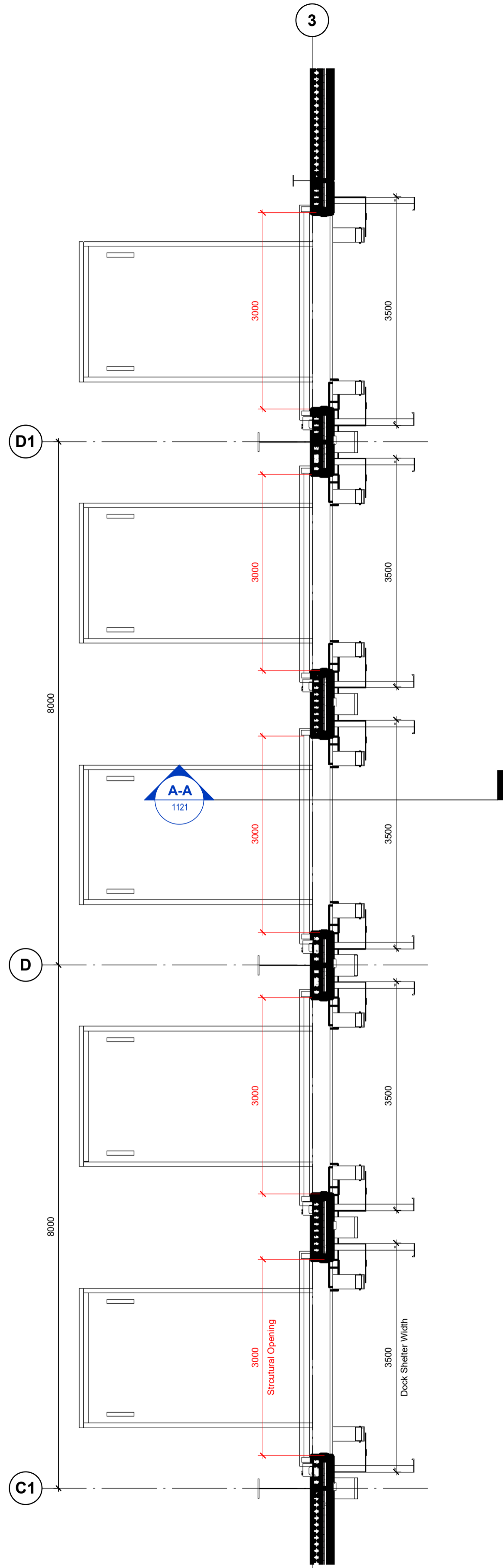
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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	07/03/23
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	Drawing no: Revision:
P23025_UMC_BR_ZZ_DR_A_1120	CR1

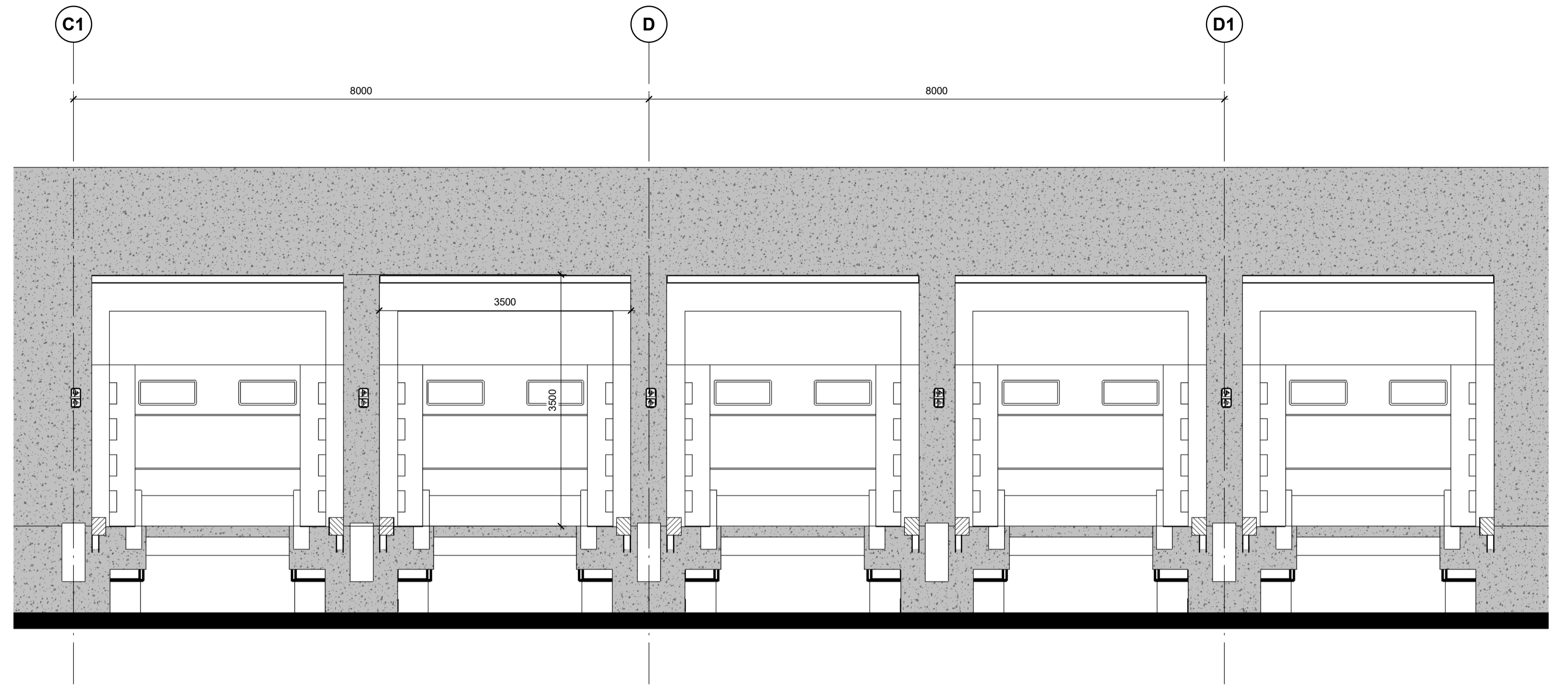


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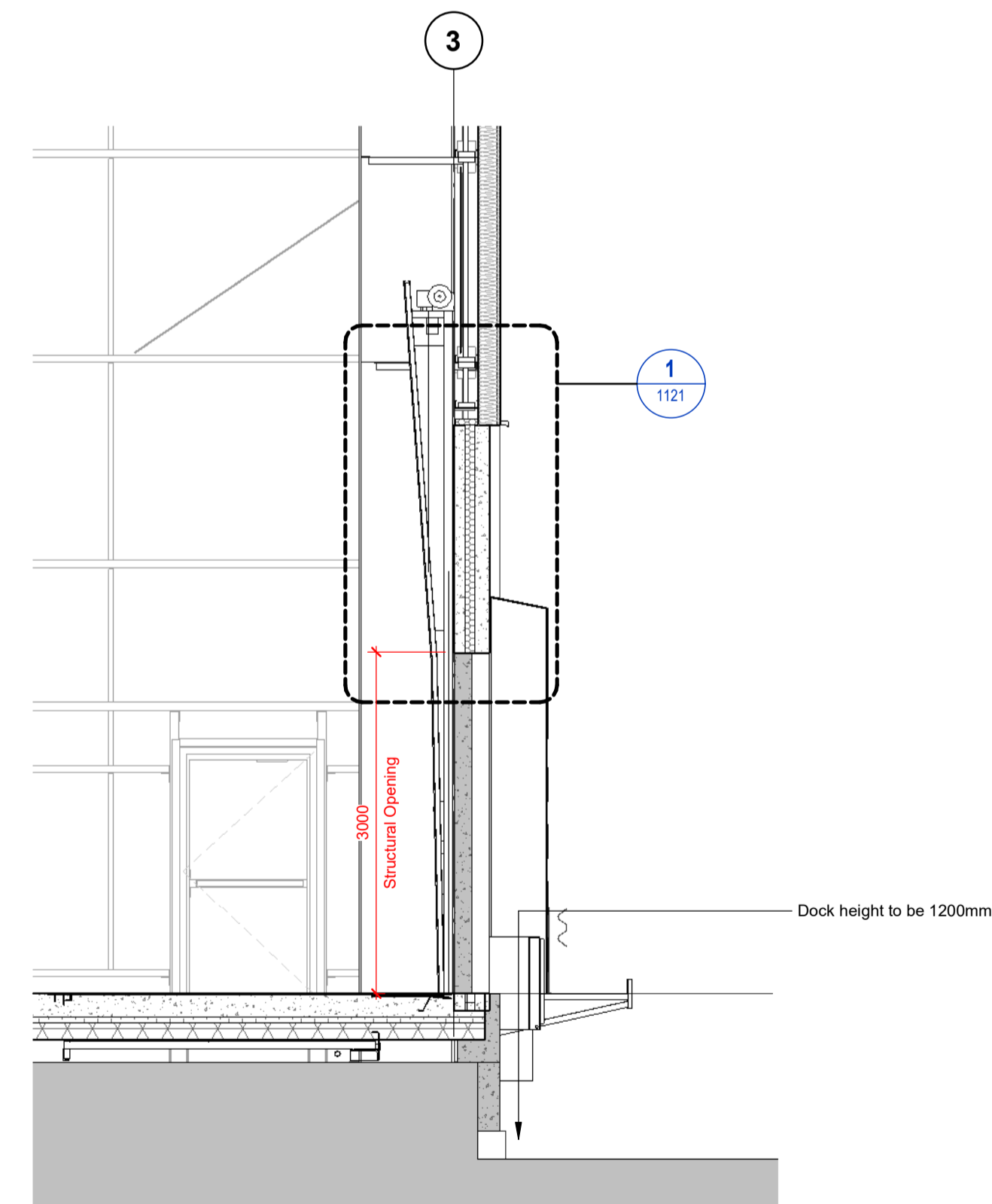
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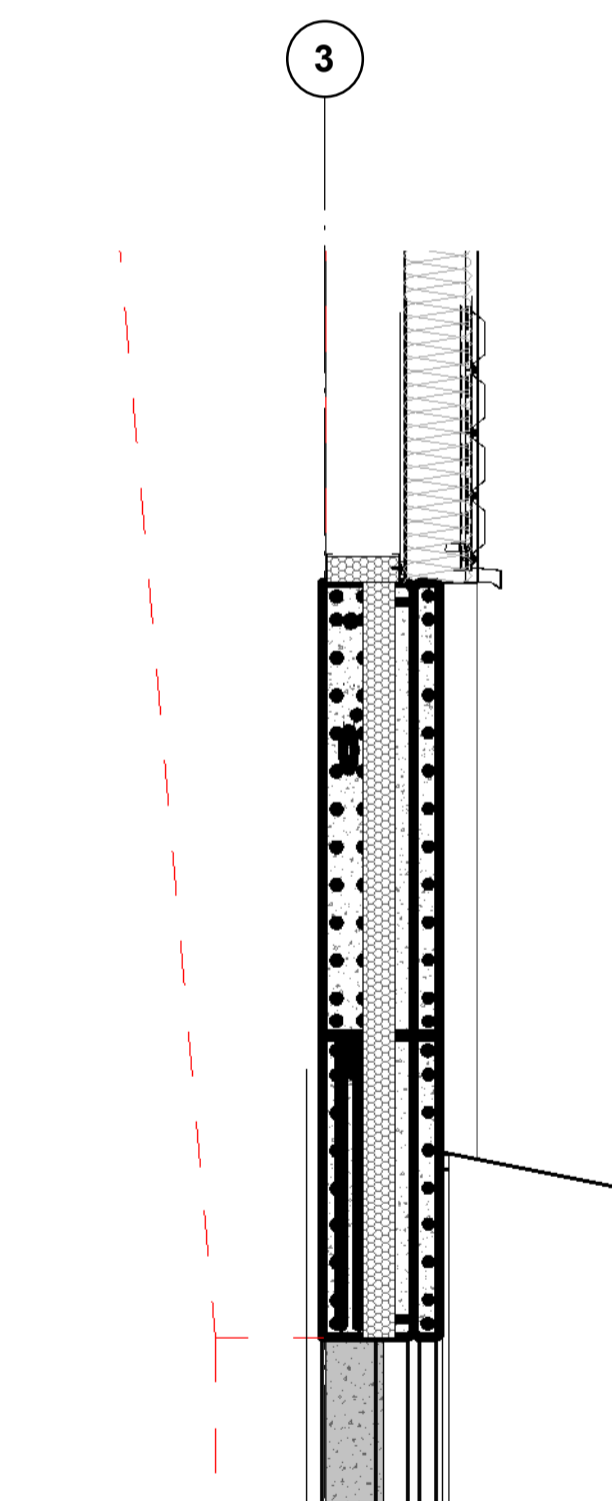
Typical Dock Door Plan
1 : 50



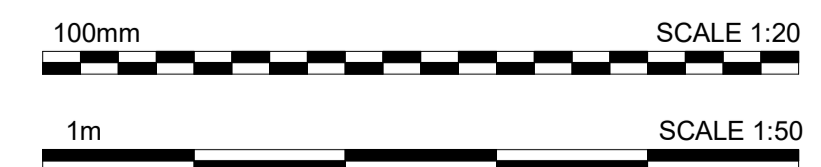
Typical Dock Door Elevation
1 : 50



Typical Dock Leveller Section A-A
1 : 50



Callout 1
1 : 20



NOTE:
For full door details refer to the Hormann drawings:

- Dock leveller doors
P23025-HOR-ZZ-00-DR-X-0001
- Level access doors
P23025-HOR-ZZ-00-DR-X-0002
- Single Leaf Doorset
P23025-HOR-ZZ-00-DR-X-0003

**FOR DOOR DETAILS REFER TO HORMANN DOORS
LATEST CONSTRUCTION RECORD/ AS-BUILT
DRAWINGS**

CR1	Construction Record Issue	LK	SW	27.08.24
C03	Wheel guides not in specification, Wivvic request to remove them from the drawing	SW	MB	16.07.24
C02	Structural openings indicated on the drawing	LK	SW	14.02.24
C01	Issued following the receipt of the Hormann drawings	SW	LK	09.02.24
P01	Preliminary Issue	SW	LK	24.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle
Dock Leveller Door Details

Information Container LOIN

LOD 4	LOI 2
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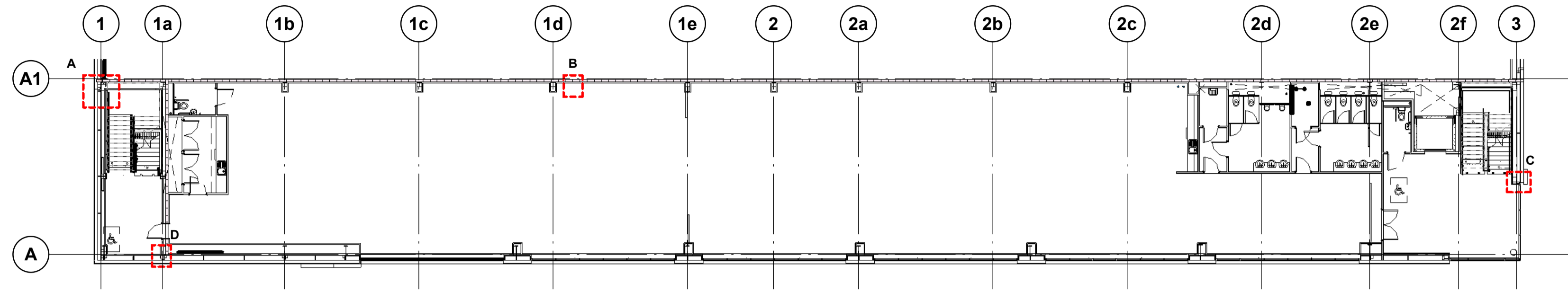
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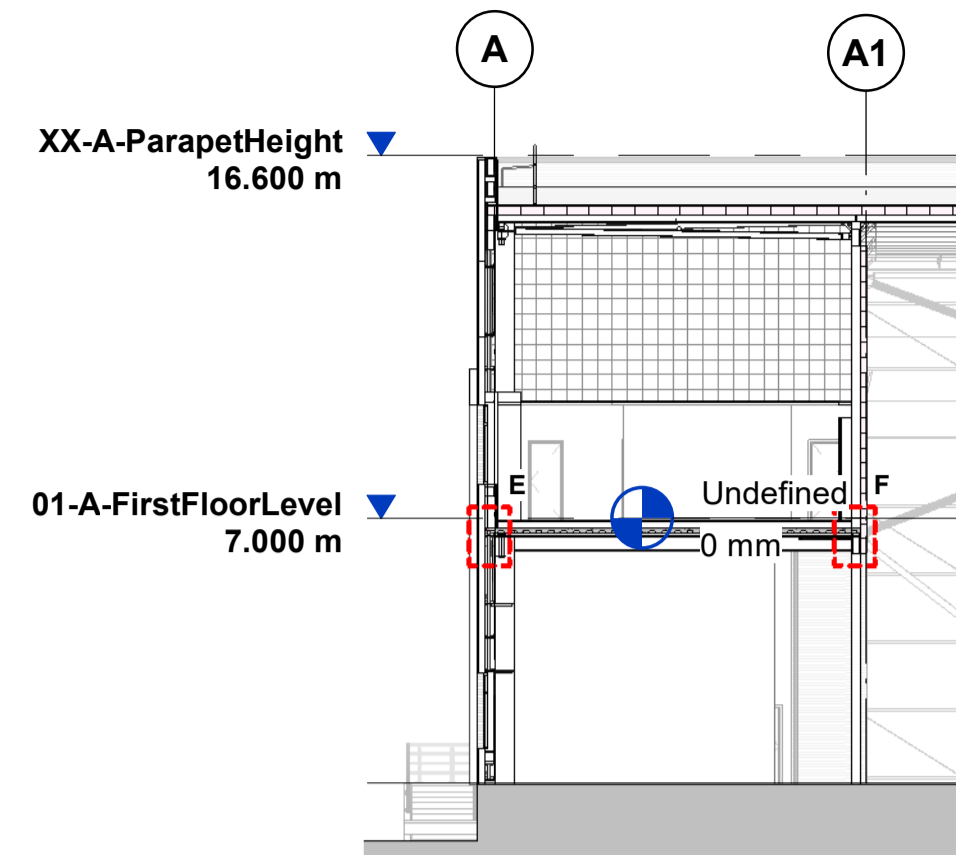
RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	07/03/23
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	Drawing no: Revision:
P23025_UMC_BR_ZZ_DR_A_1121	1121 CR1

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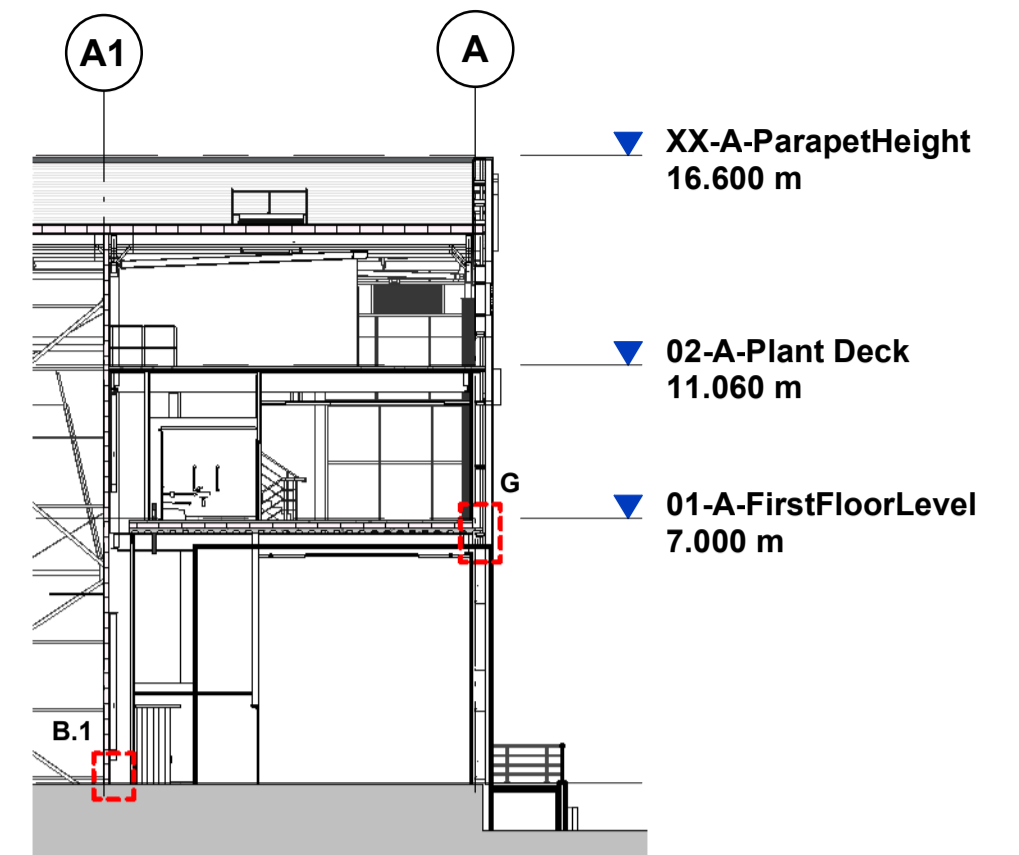
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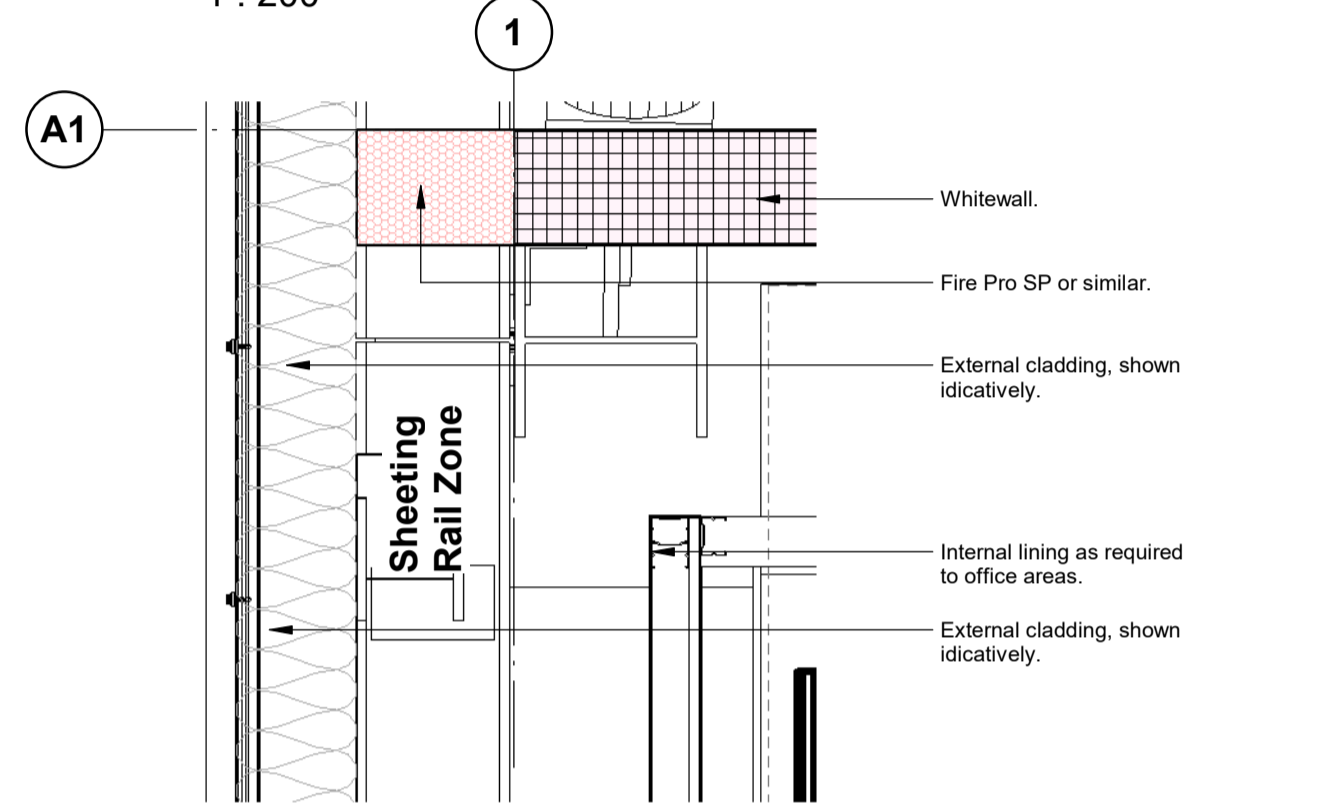
First Floor Office Plan Key
1 : 200



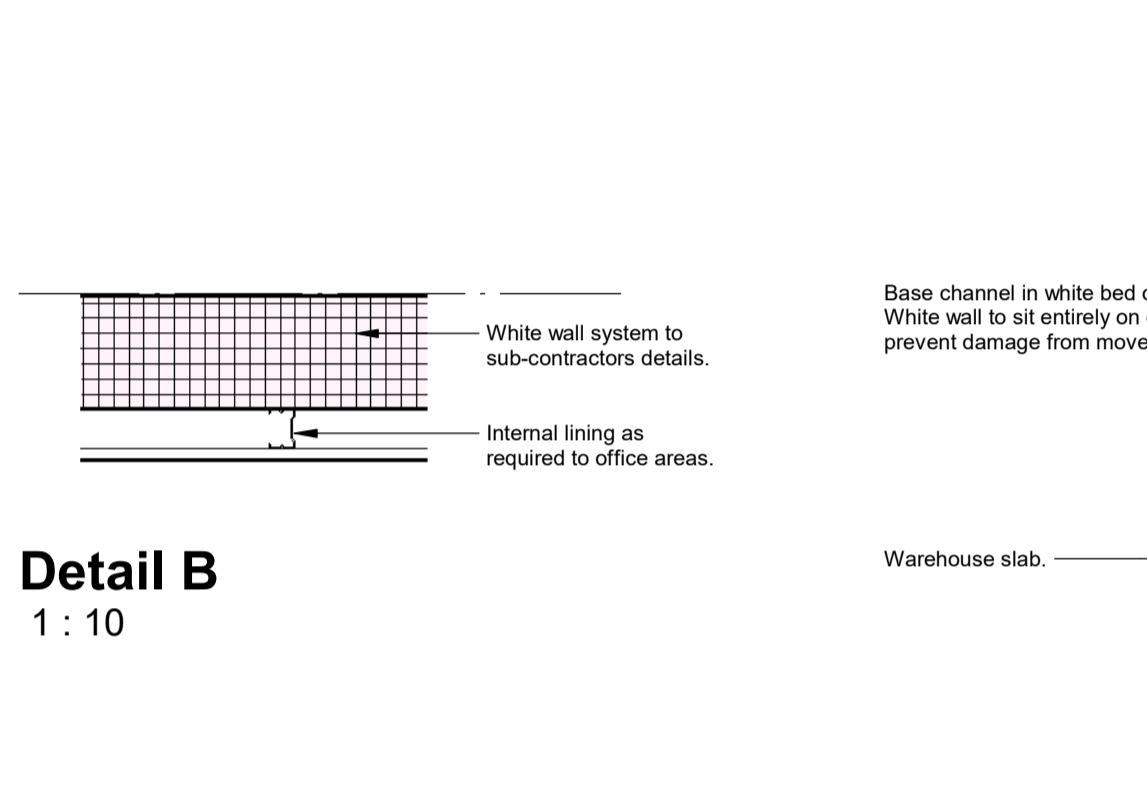
Office Section A Key
1 : 200



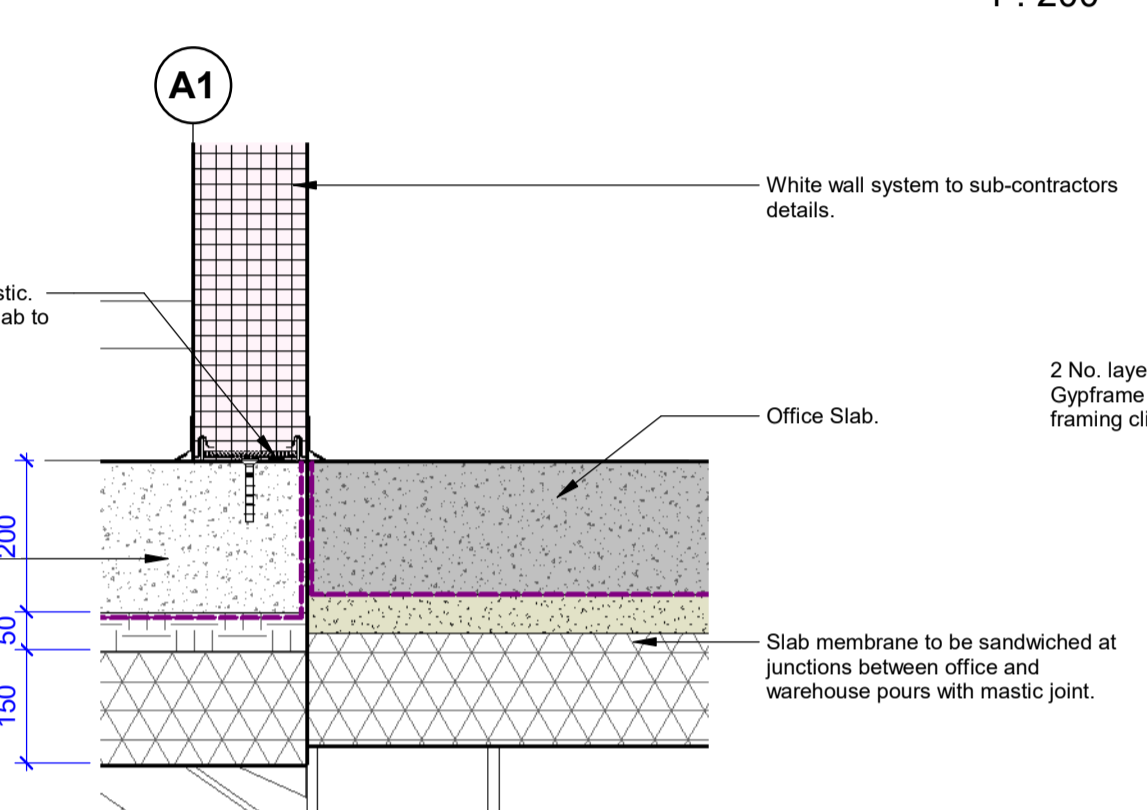
Office Section B Key
1 : 200



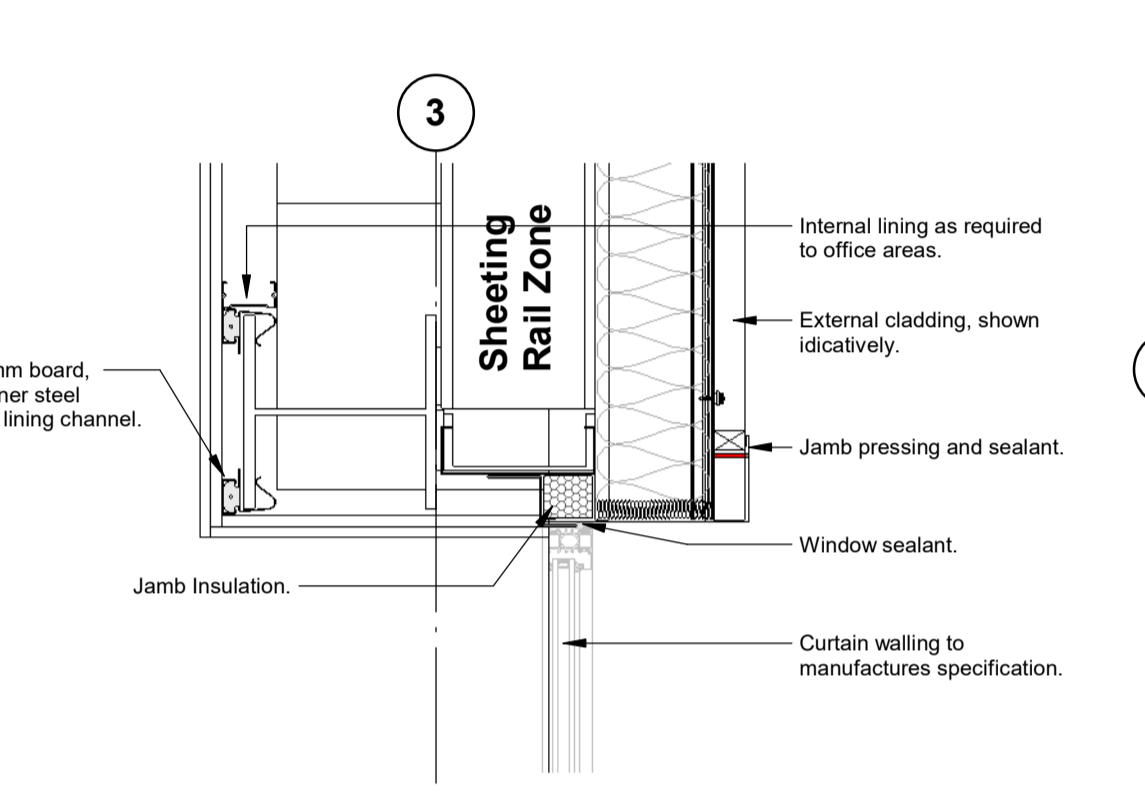
Detail A
1 : 10



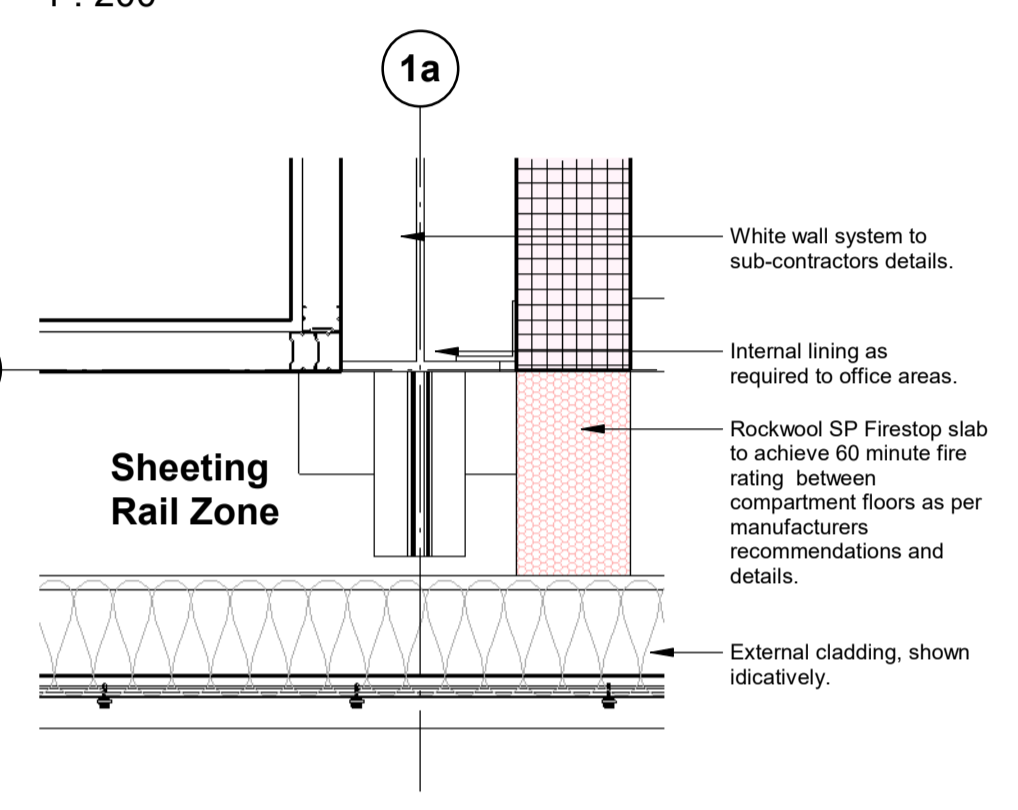
Detail B
1 : 10



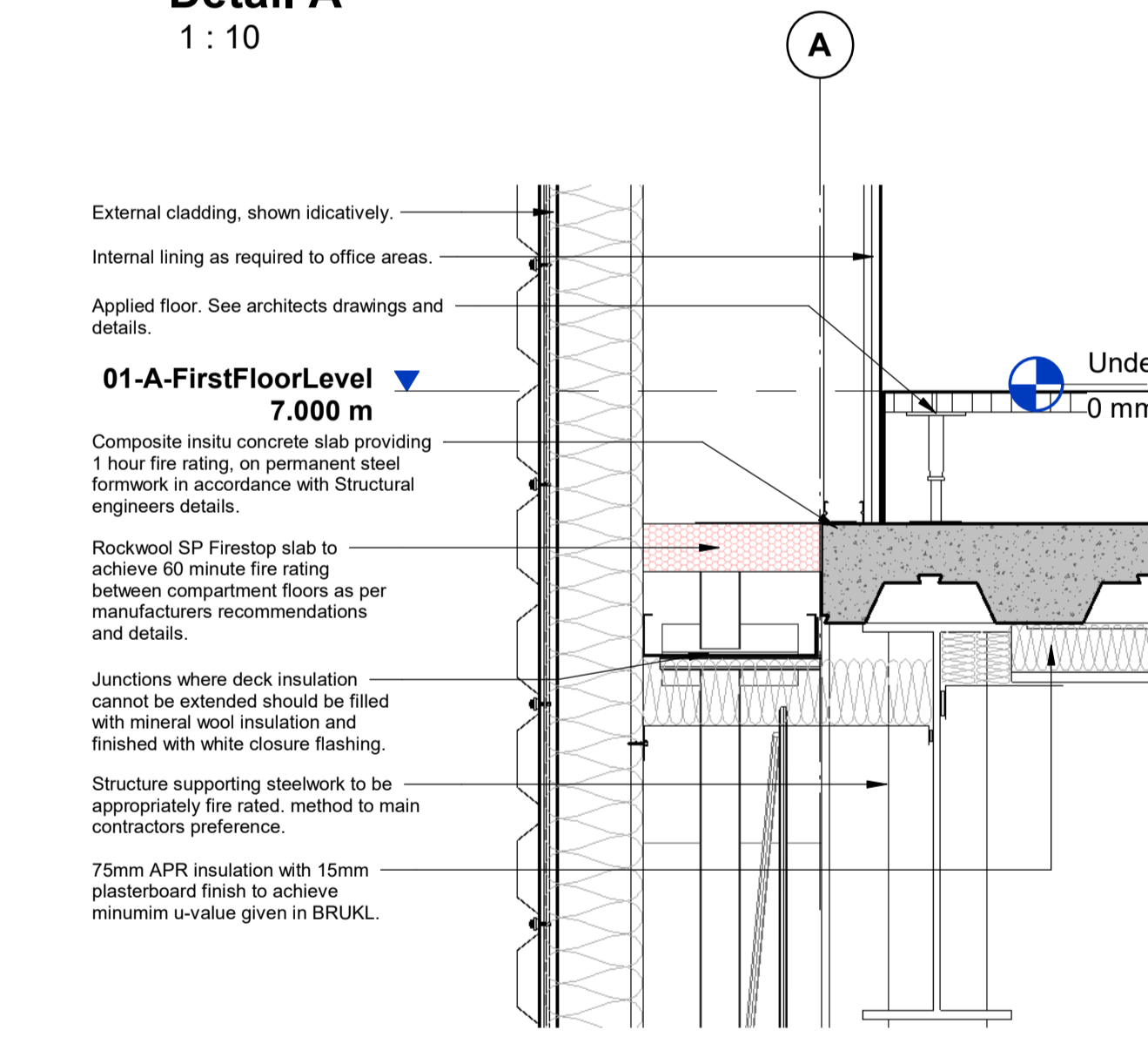
Detail B.1
1 : 10



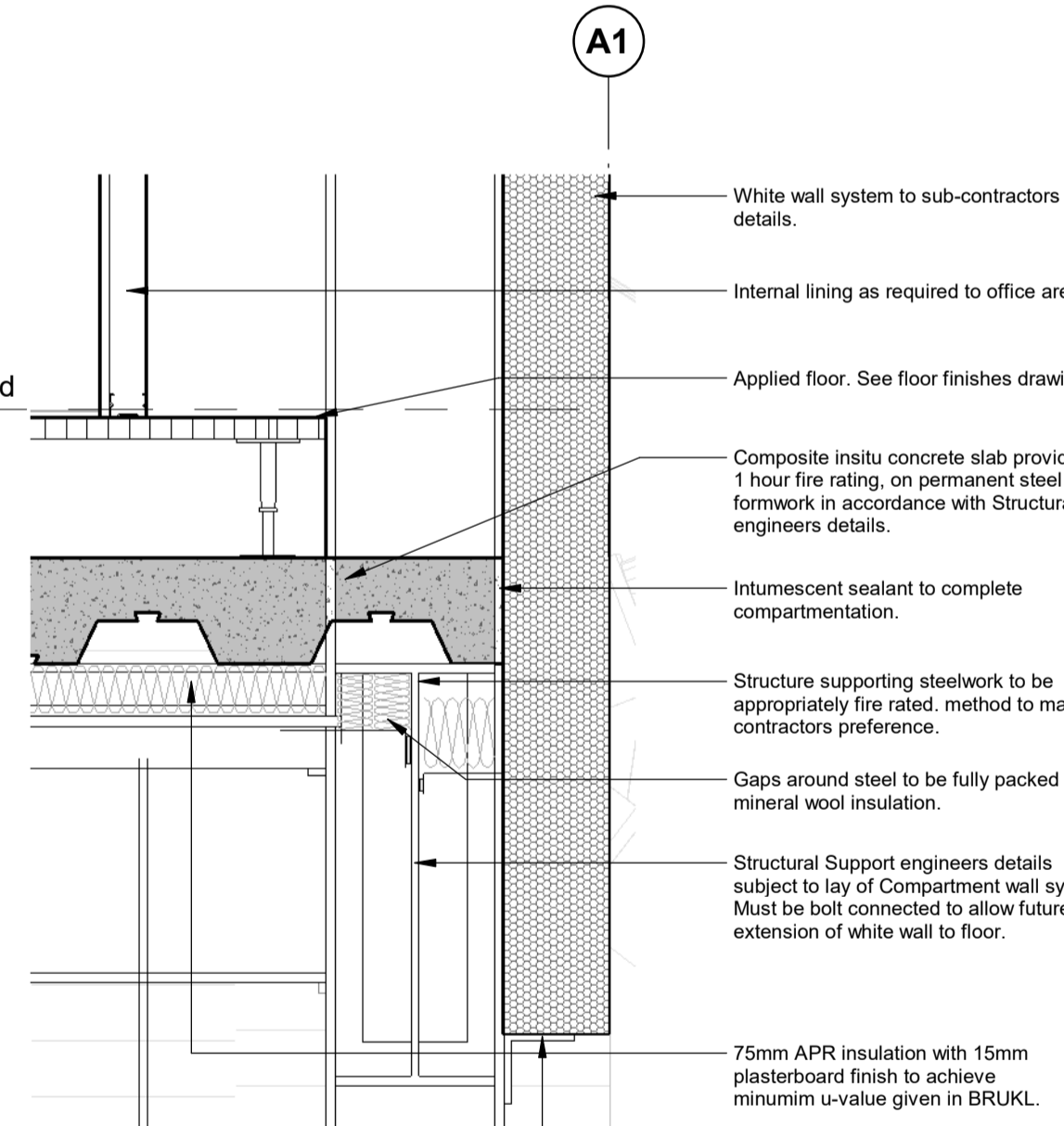
Detail C
1 : 10



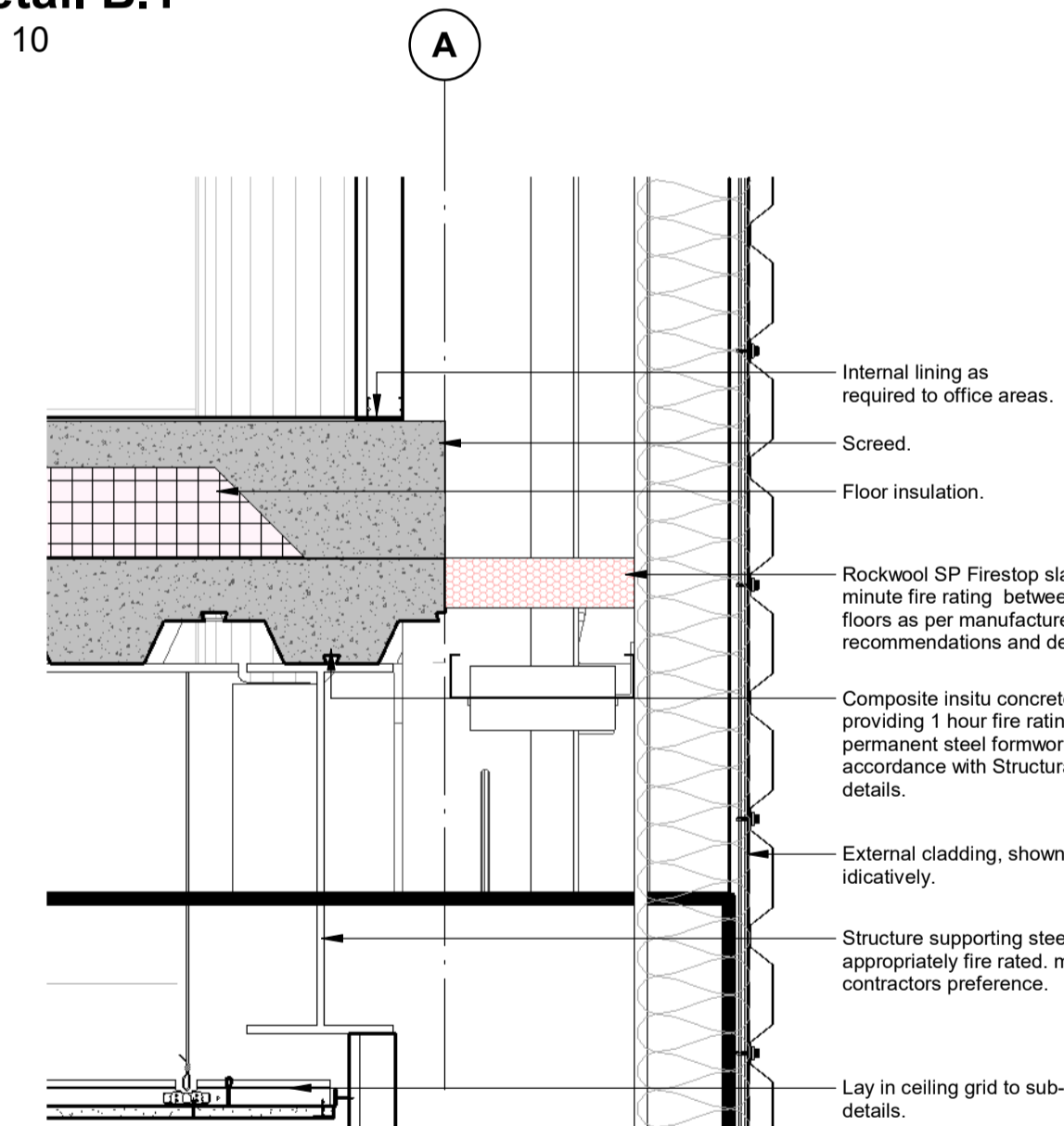
Detail D
1 : 10



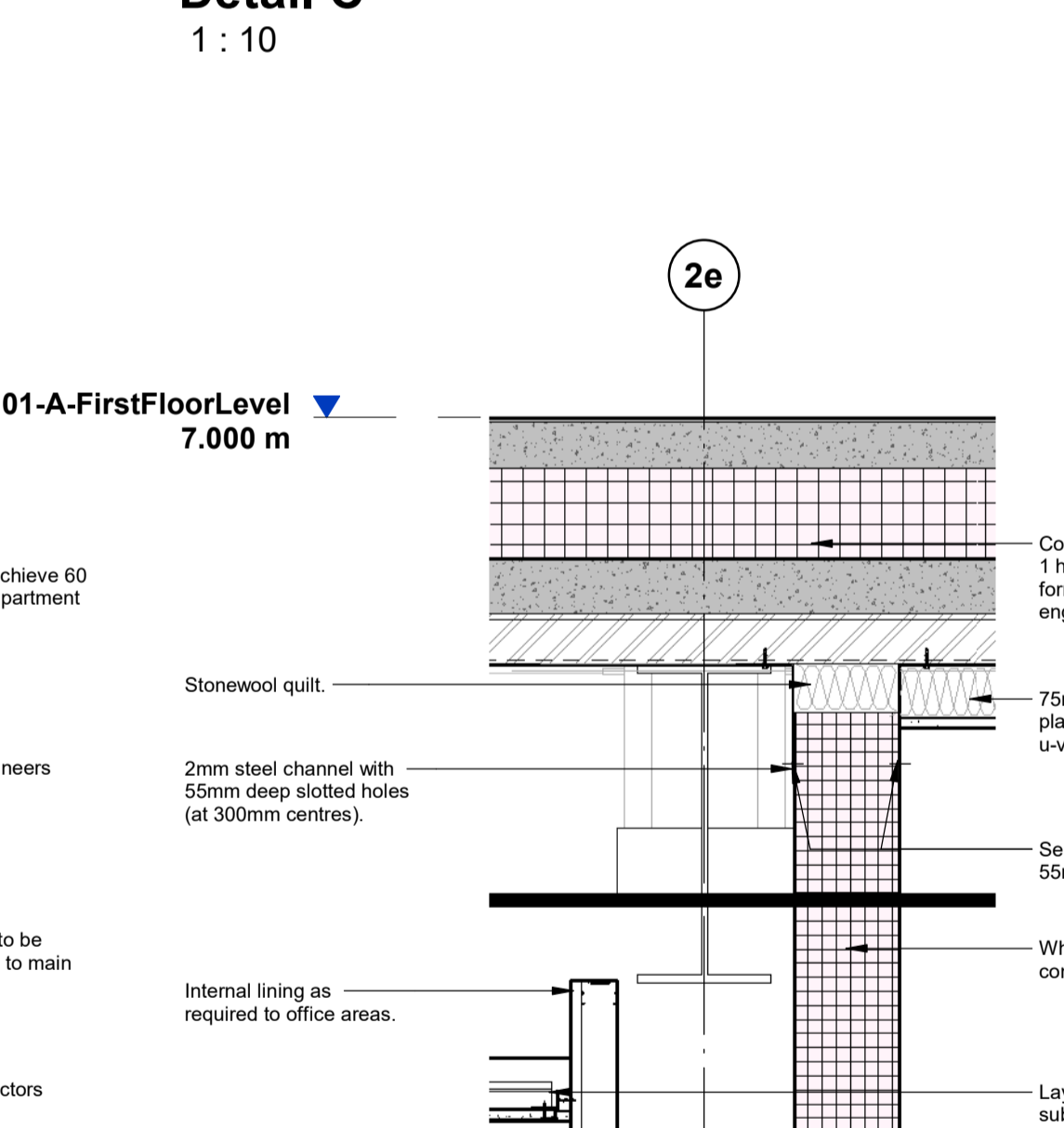
Detail E
1 : 10



Detail F
1 : 10



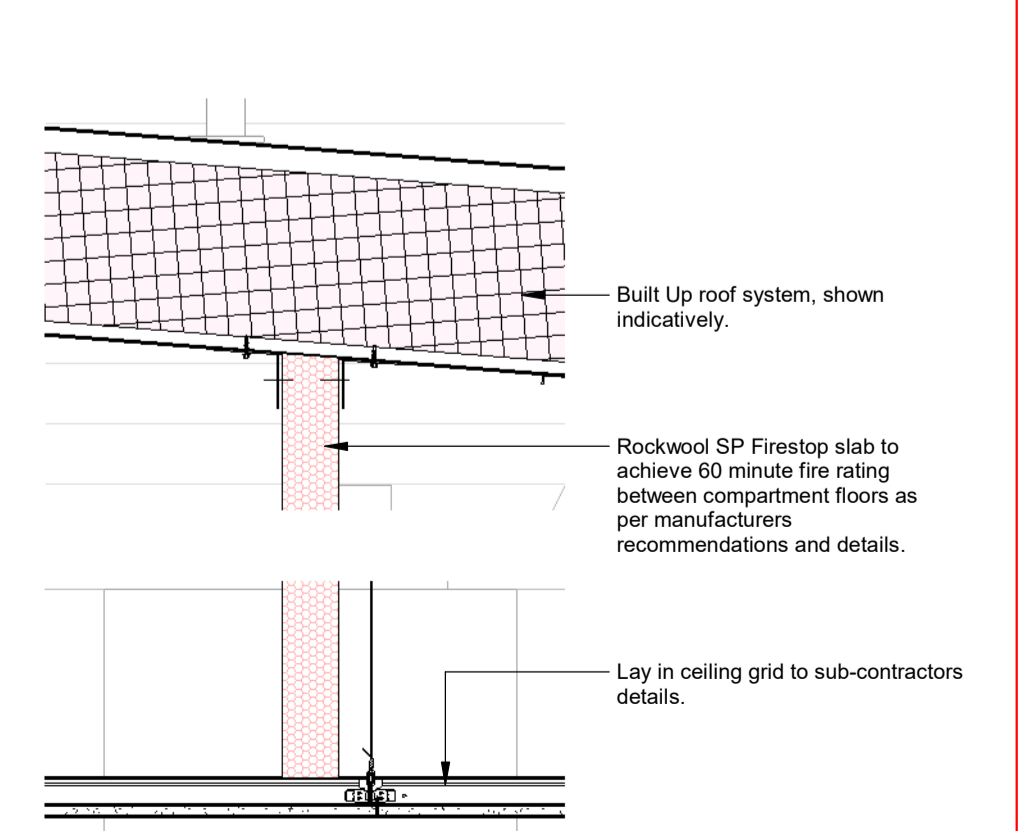
Detail G
1 : 10



Detail H
1 : 10



Office Section C Key
1 : 200



Detail J
1 : 10

CR1	Construction Record Issue	LK	SW	27.08.24
C01	Initial Issue	SW	LK	05.06.24
rev	amendments	by	ckd	date

Horton Road, Poyle
Typical Details 1

Information Container LOIN	
LOD 4	LOI 2

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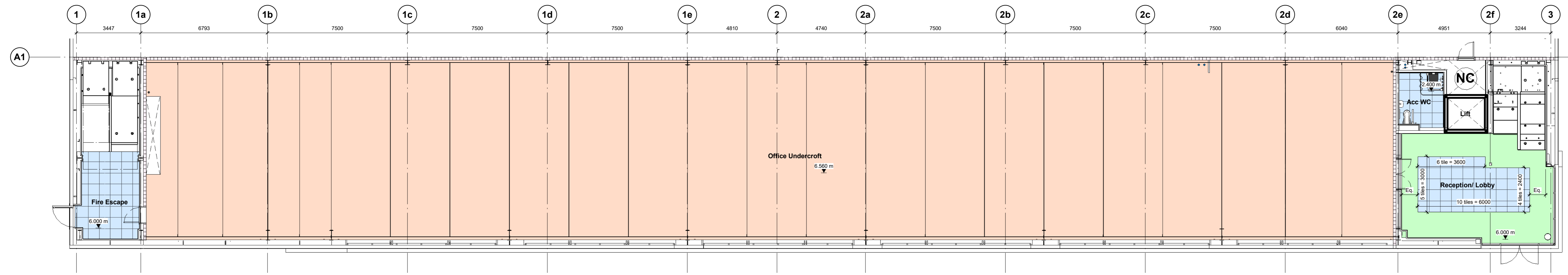
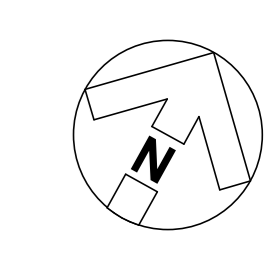
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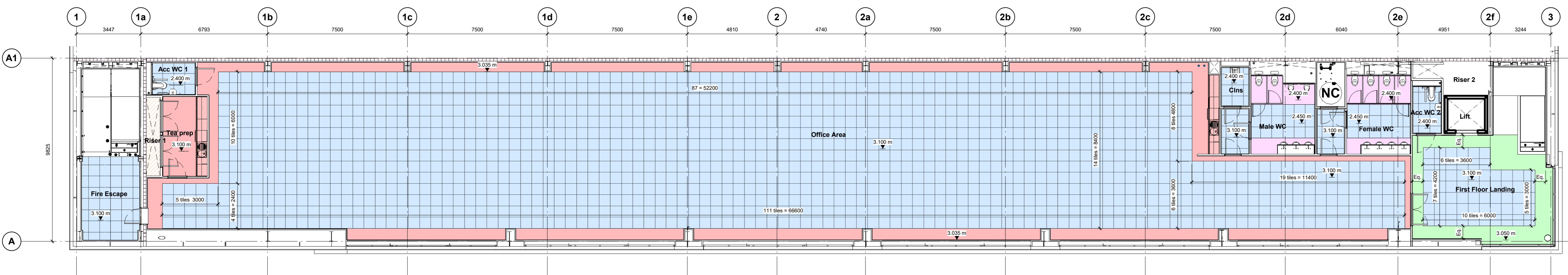
RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	07/03/23
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	P23025_UMC_BR_ZZ_DR_A_1131
Drawing no:	1131
Revision:	CR1

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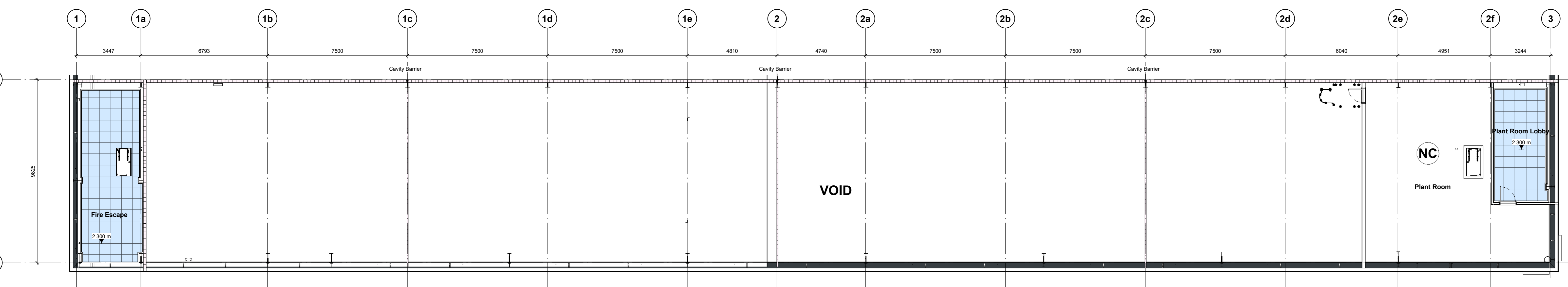
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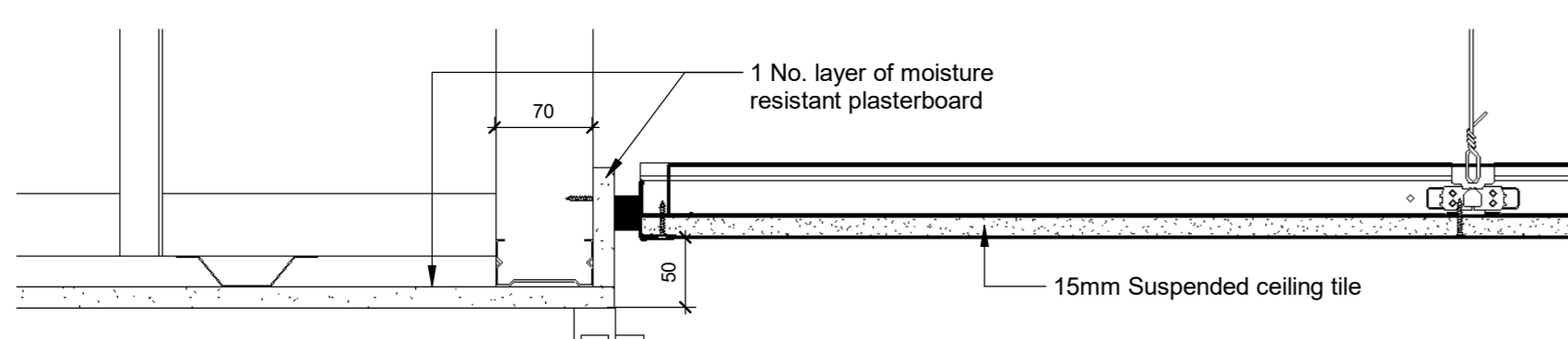
Ground Floor Office Plan
1: 100



First Floor Office Plan
1: 100



Plant Deck Plan
1: 100



Typical Ceiling Transition Detail
1: 5

Key

- CEILING**
- C02 600x600mm wide Zentia Aruba tiles in lay-in grid system. 95% relative humidity rating.
 - C03 Dulux Absolute White vinyl matt emulsion painted moisture-resistant plasterboard ceiling above WC cubicles and wash basins.
 - C04 Minimum 600mm(W) x 100mm(D) Dulux Absolute White vinyl matt emulsion painted plasterboard/ MF flat bulkhead.
 - C05 Dulux Absolute White vinyl matt emulsion painted plasterboard/ MF flat bulkhead to offices.
 - C06 100mm Firemaster Panel fixed to the underside of deck soffit. Plasterboarded with taped joints, sealed with one mist coat and two coats of Dulux Absolute White vinyl matt emulsion.
 - NC No ceiling
 - LID Fire rating of lids to be confirmed. Please refer to P23025_UMC_BR_ZZ_DR_A_1402 Office Fire Strategy

NOTE:
 Light fittings to be centralised over wash hand basins and WC cubicles.
 25mm Dulux Black BS00E53 painted shadow edge trim will be included to all suspended ceilings.
 The suspended ceiling system is to be earth bonded in accordance with IEE regulations and the suspended ceiling manufacturers recommendations.
 Ceilings to reception area, stairwells, lobbies or small rooms to be suitably clipped and incorporate suitable means of accommodating fluctuations in wind pressure.

C01	Construction Record Issue	LK	SW	27.08.24
C06	Drawing revised to include CAT ladder as per Winvic email 22/07/24, cabinet finishes updated to spans and main office to be Fern as agreed with Panattoni, splash back included in designers store	LK	SW	25.07.24
C05	Ceiling grid added to the fire escape core	SW	LK	11.07.24
C04	Ceiling finish (2) amended to Zentia Aruba as per the miles package, due to the discontinuation of Armstrong Data, CT-02 to cover all grid areas, therefore CT-01 has been omitted.	SW	LK	07.06.24
C03	MF ceiling in the office and reception areas has increased in depth due to increase in wall thicknesses following workshop with drylines 04.06.24. Lids have been added to riser 1 and 2.	SW	LK	04.06.24
C02	Office and toilet ceiling grids rationalised, access hatch indicated for in tag area. G/F Acc. WC configuration amended resulting in a ceiling grid update.	SW	LK	07.05.24
C01	Drawing updated following acceptance of layout reconfiguration. Office grids added to drawing.	SW	LK	05.03.24
P03	Ceiling layout updated to align with latest architectural layout inclusive of IPS. MF ceiling bulkheads added where required 30.07.24	SW	LK	30.07.24
P02	Issued for review and comment	SW	LK	08.12.23
P01	Preliminary Issue	SW	LK	24.11.23

rev | amendments | by | ckd | date

Horton Road, Poyle
Office Ceiling Plans

Information Container LOIN

LOD 4	LOI 2
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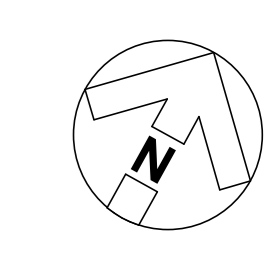
RIBA Plan Stage: Stage 4 - Detailed Design
 Document Suitability: CR
 Drawn / Checked: SW/LK
 Date: 09/03/23
 Scale: As indicated © AD
 UMC Project Number: 22400

Document Reference: P23025_UMC_BR_ZZ_DR_A_1201
 Drawing no: 1201
 Revision: CR1

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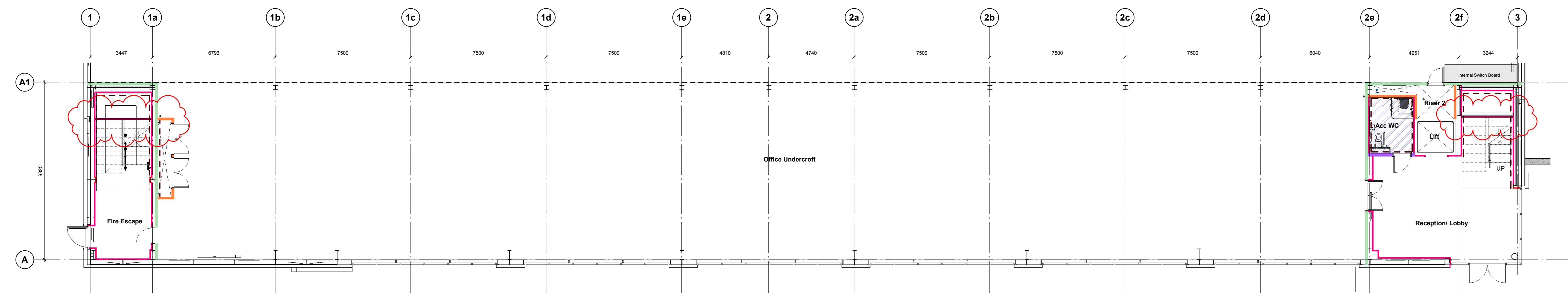


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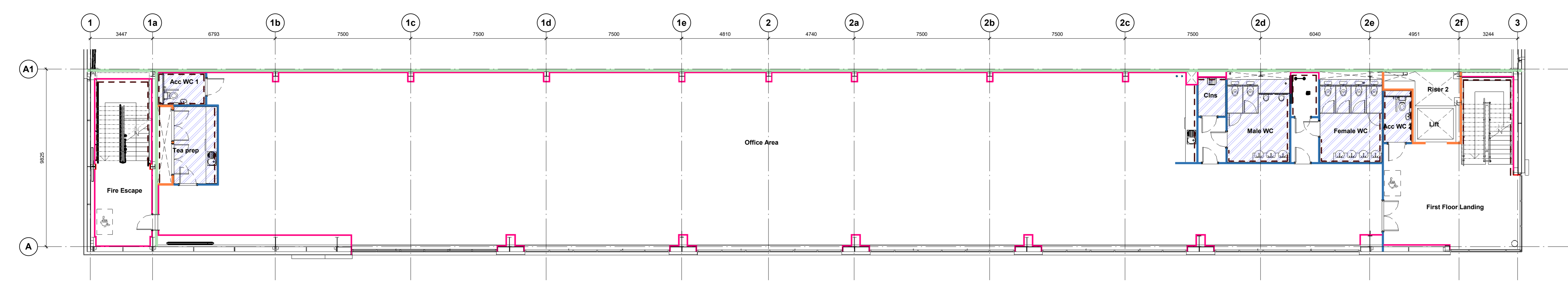


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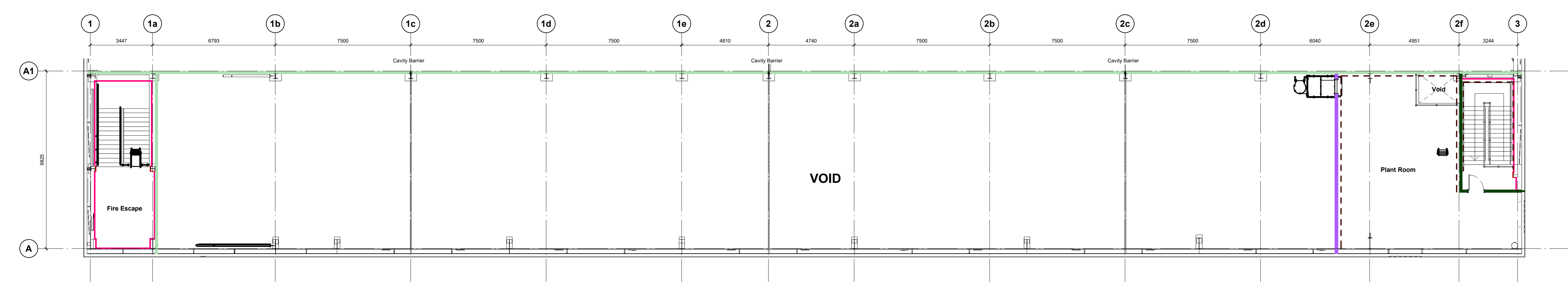
- STUDWORK**
- Wall Type A:**
Firemaster Wall System
Overall Thickness - 150mm
150mm Firemaster Wall Panel
- Height u/s of deck soffit / roof soffit.
- To achieve 60Min Fire Rating
- To achieve 34db sound reduction
 - Wall Type B:**
Shaft wall.
Overall Thickness - 124mm
2 Layer of 15mm Fireline
92 mm 'Y' Studs (19mm coreboard internally)
- Height u/s of deck soffit / 300mm abv ceiling level
- For heights up to 6700mm
- To achieve 40db sound reduction
 - Wall Type C:**
Metal stud partition wall.
Overall Thickness - 102mm
1 Layer of 15mm Fireline
72mm 'C' Studs
1 Layer of 15mm Fireline
- Height u/s of deck soffit / 300mm abv ceiling level
- For heights up to 3800mm
- To achieve 60Min Fire Rating
- To achieve 40db sound reduction
 - Wall Type D:**
Metal stud partition wall.
Overall Thickness - 178mm
140mm 'C' Studs
1 Layer of 15mm Fireline
- Height u/s of deck soffit / 300mm abv ceiling level
- For heights up to 6800mm
- To achieve 60Min Fire Rating
- To achieve 40db sound reduction
- LININGS**
- Lining 01:**
Metal stud liner system.
Overall Thickness - 67mm
1 Layer of 15mm FireLine
52mm 'C' Studs
- Height u/s of deck soffit / 300mm abv ceiling level
 - Lining 02:**
1 Layer of 15mm FireLine
Column encasement system
- Height u/s of deck soffit / 300mm abv ceiling level
- MISCELLANEOUS**
- Patress Lining:**
Internal plywood sheeting to be allowed for between studs to ensure wall can receive imposed loads from handrails/ grabrails/ seats etc in conjunction with specific manufacturers details.
 - Room to receive moisture resistant plasterboard to finish face of partition.**
 - Riser wall types are currently in abeyance. The wall build ups are to be confirmed by client team depending on required fire rating.**



Ground Floor Office Plan
1 : 100



First Floor Office Plan
1 : 100



Plant Deck Plan
1 : 100

CR1	Construction Record Issue	LK	SW	27.08.24
C05	Drawing updated to include wall lining to close the landing on both slabs ground floor	LK	SW	05.07.24
C04	Walls omitted in male and female toilets.	SW	LK	18.06.24
C03	Lining 01 to all staircases following notes and Winsa instruction. Lining 01 omitted to the back of lift shafthead butts up to lift to create protected shaft on GF. Shafthead creates protected shaft in riser 2 on FF. Wall Type E added to Plant Enclosure, shafthead to be boarded both sides for the purpose of fixing back to a finished surface.	SW	LK	13.06.24
C02	Drawing and key amended to align to cladding package	SW	LK	04.06.24
C01	Drawing updated following acceptance of layout reorganisation. Office grids added to drawing. Key updated.	SW	LK	05.03.24
PO2	Issued for review and comment	SW	LK	08.12.23
PO1	Preliminary issues	SW	LK	24.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle
Office Wall Types

Information Container LOIN

LOD 4	LOI 2
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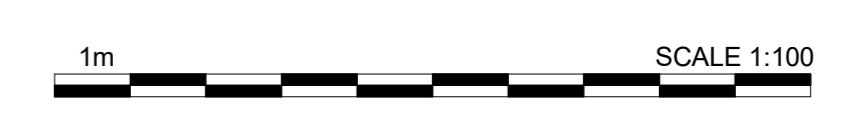
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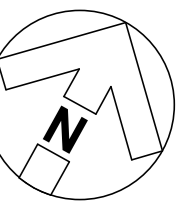
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RIBA Plan Stage: Stage 4 - Detailed Design
 Document Suitability: CR
 Drawn / Checked: SW/LK
 Date: 08/03/23
 Scale: As indicated © AD
 UMC Project Number: 22400

Document Reference: Drawing no: P32025_UMC_BR_ZZ_DR_A_1202 Revision: CR1



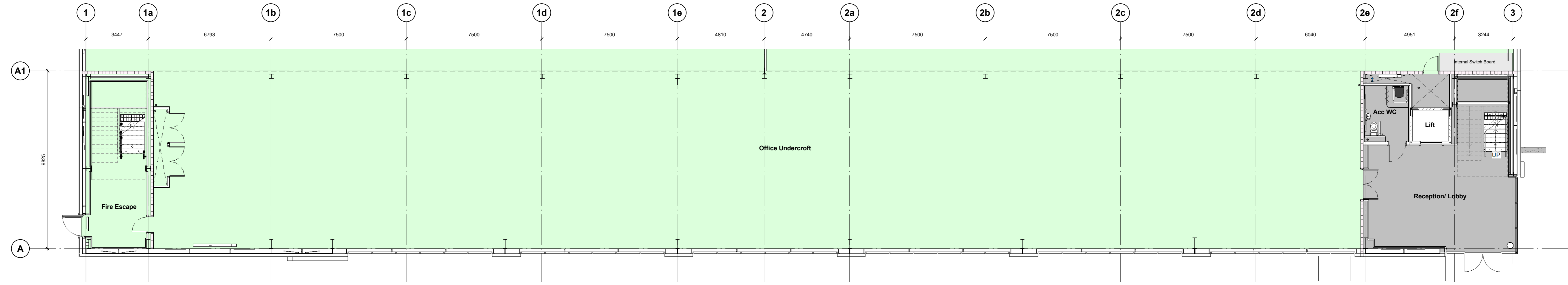
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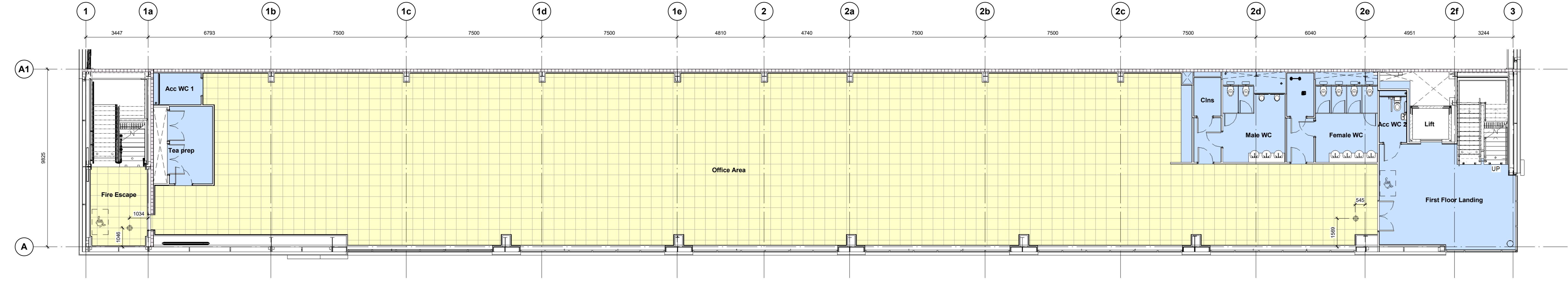
Key

FLOOR TYPES

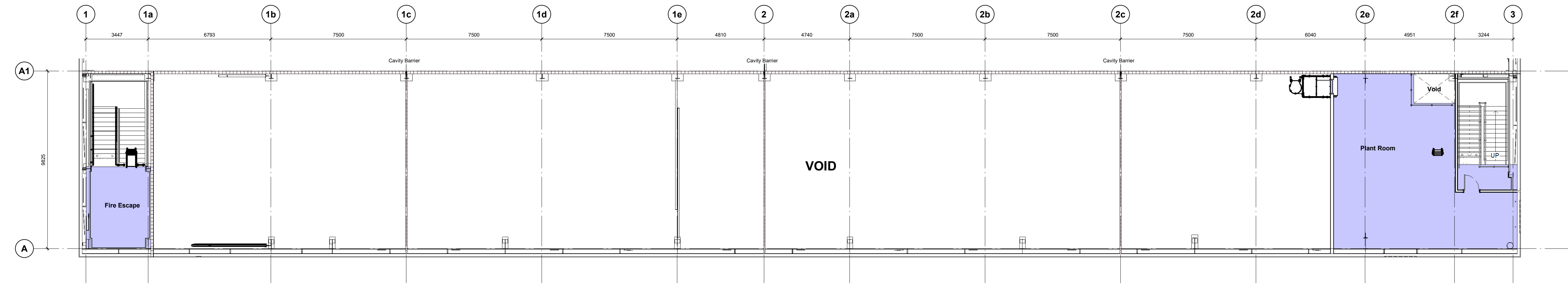
- FT-01 Warehouse slab.
 - FT-02 Office slab with screed finish.
 - FT-03 Hewitson RMG600 or similar medium grade system. To provide a minimum clear void of 150mm with 600x600 tiles.
 - FT-04 Concrete floor deck, insulated with screed finish.
 - FT-05 Concrete floor deck.
- Denotes the setting out point for the raised access floor tiles. Tiles should be cut to form a clean edge to ensure a sound fit.



Ground Floor Office Plan
1: 100



First Floor Office Plan
1: 100



Plant Deck Plan
1: 100

CR1	Construction Record Issue	LK	SW	27.08.24
CR3	Drawing revised to include CAT facilities as per Winvic email 22/07/24; carpet finishes updated to stairs and main office to be Firm as agreed with Panattoni, scratch-back included to cleaners store	LK	SW	23.07.24
CR2	First floor fire lobby to receive a raised access floor as requested by Winvic	SW	LK	27.06.24
	Initial issue	SW	LK	07.05.24
rev	amendments	by	ckd	date

Horton Road, Poyle
Office Floor Types

Information Container LOIN	
LOD 4	LOI 2

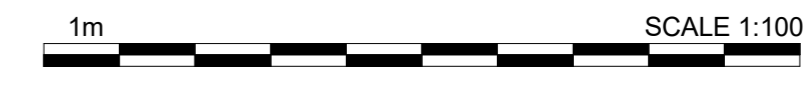
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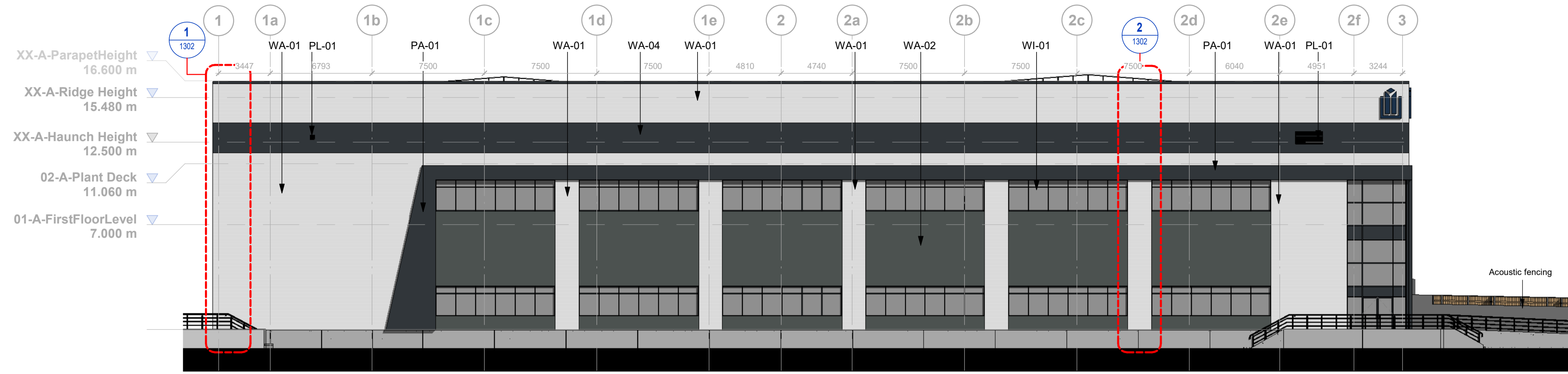
RIBA Plan Stage:	Stage 4 - Detailed Design
Document Suitability:	CR
Drawn / Checked:	SW/LK
Date:	14/03/24
Scale:	As indicated © AD
UMC Project Number:	22400

Document Reference: P23025_UMC_BR_ZZ_DR_A_1210 Drawing no: 1210 Revision: CR1

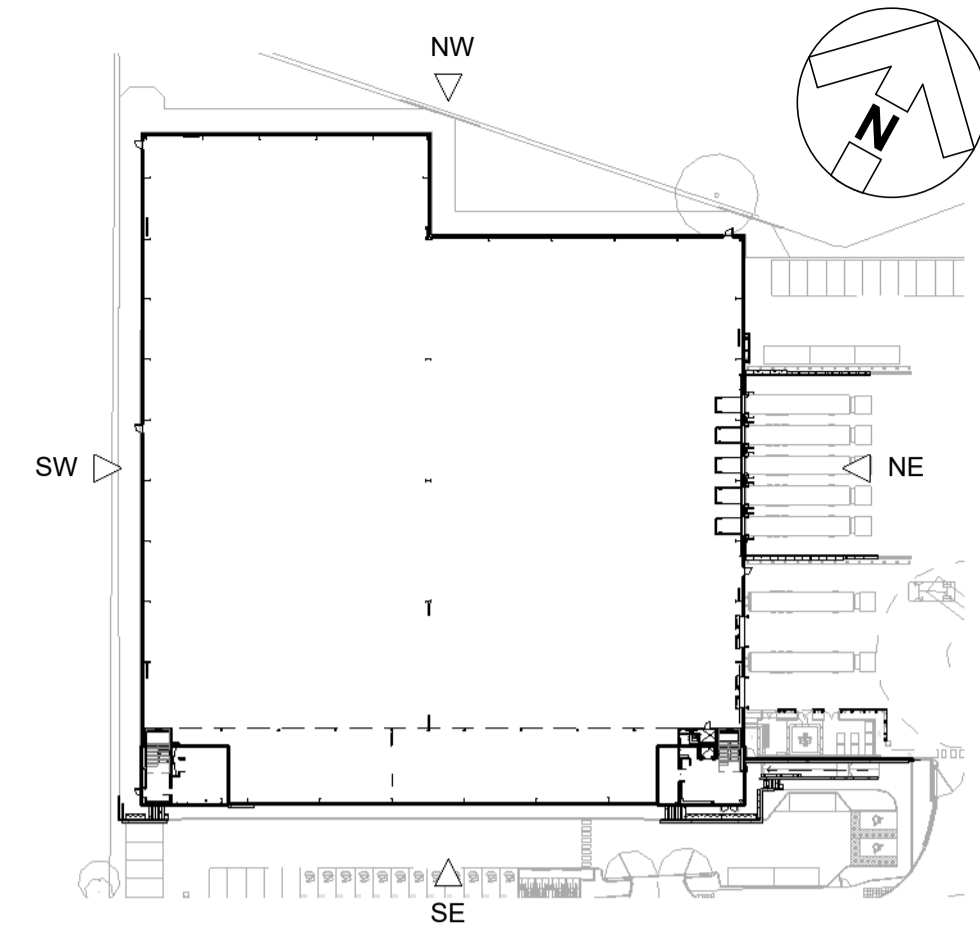
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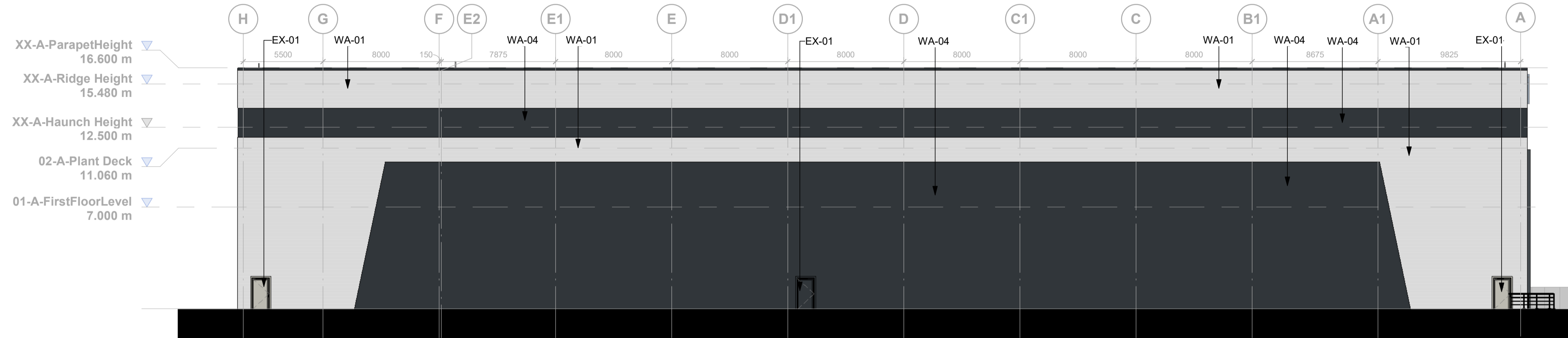
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South East Elevation
 1 : 200

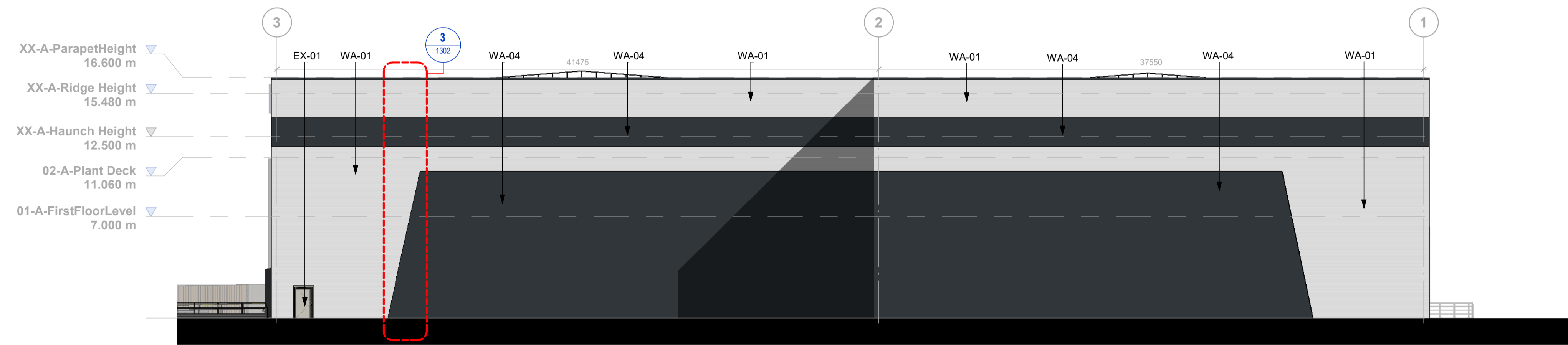


Key Plan
 1 : 1000



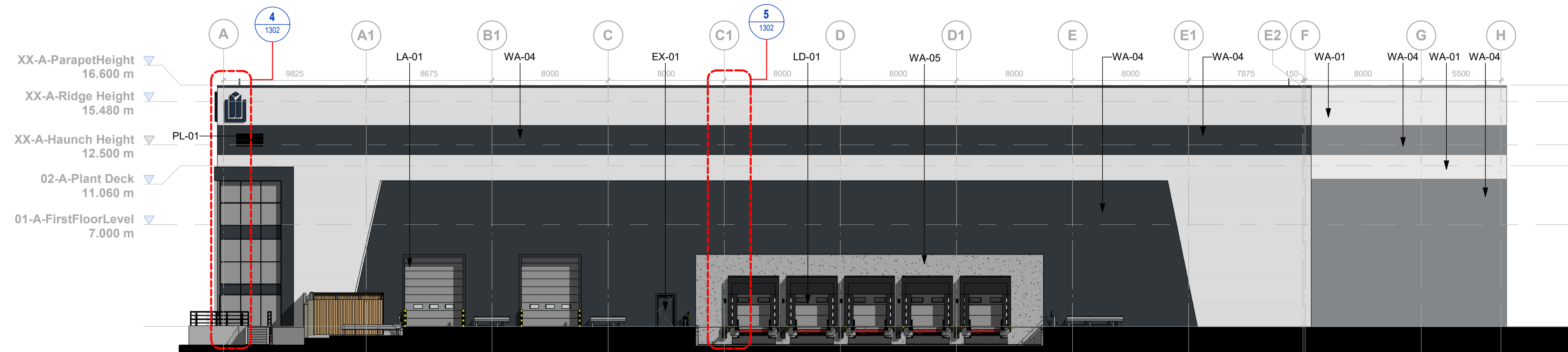
South West Elevation
 1 : 200

Elevations Key	
EX-01	Personnel Access Door Colour: To match adjacent cladding
LA-01	Level Access Door Colour: Silver (RAL 9006)
LD-01	Loading Dock Door Colour: Silver (RAL 9006)
PA-01	PPC aluminium feature flashing/ capping detail Colour: Anthracite (RAL 7016)
PL-01	Plant Ventilation Louvre System Colour: Anthracite (RAL 7016)
RF-01	Horizontally laid CA Twin-Therm 32/1000R Built Up Cladding Finish: HPS200 Ultra Colour: Goosewing Grey (RAL 7038)
RH-01	Bilco Companionway Access Roof Hatch CS-50TB with BilGuard 2.0 Hatch Railing system. Accessed via a ships ladder.
WA-01	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish - Prism Solid Colour Colour: Hamlet (RAL 9002)
WA-02	Horizontally laid CA Twin-Therm Micro Rib Build Up Cladding Finish - Prism Solid Colour Colour: Slate Grey (RAL 7012)
WA-04	Horizontally laid CA Twin-Therm 32/1000W Built Up Cladding Finish: Prism Solid Colour Colour: Anthracite (RAL 7016)
WA-05	Concrete Prowall System
WI-01	Glazing system & framing Colour: Anthracite (RAL 7016)



North West Elevation
 1 : 200

CR1	Construction Record Issue	LK	SW	27.08.24
C05	Level access doors are now Silver RAL 9006. Window setting out amended in line with Ardent request, see dr 1502.	SW	LK	22.02.24
C04	Wall finish W03 removed feature racking cladding reverted back to tender issue documents horizontal laid anthracite cladding	LK	SW	11.02.24
C03	GA drawings updated to show coordination with steel. Wall on GL A moved outboard by 70mm to account for 270mm cladding rail zone	SW	LK	09.02.24
C02	GL 1 and 2 moved out 25mm. GL H and F also moved out 25mm in order to give increased construction tolerances as requested by Winvic 30.01.24. GL E2 introduced 150mm offset from F. GL G is now offset 5m from GL F. GL B deleted.	SW	LK	31.01.24
C01	GL 1 and 2 moved out 25mm. GL H and F also moved out 25mm in order to give increased construction tolerances as requested by Winvic 30.01.24.	SW	LK	30.01.24
P02	Issued for review and comment	SW	LK	08.12.23
P01	Preliminary Issue	SW	LK	24.11.23



North East Elevation
 1 : 200

Horton Road, Poyle
 Elevations

Information Container LOIN
 LOD 4 | LOI 2

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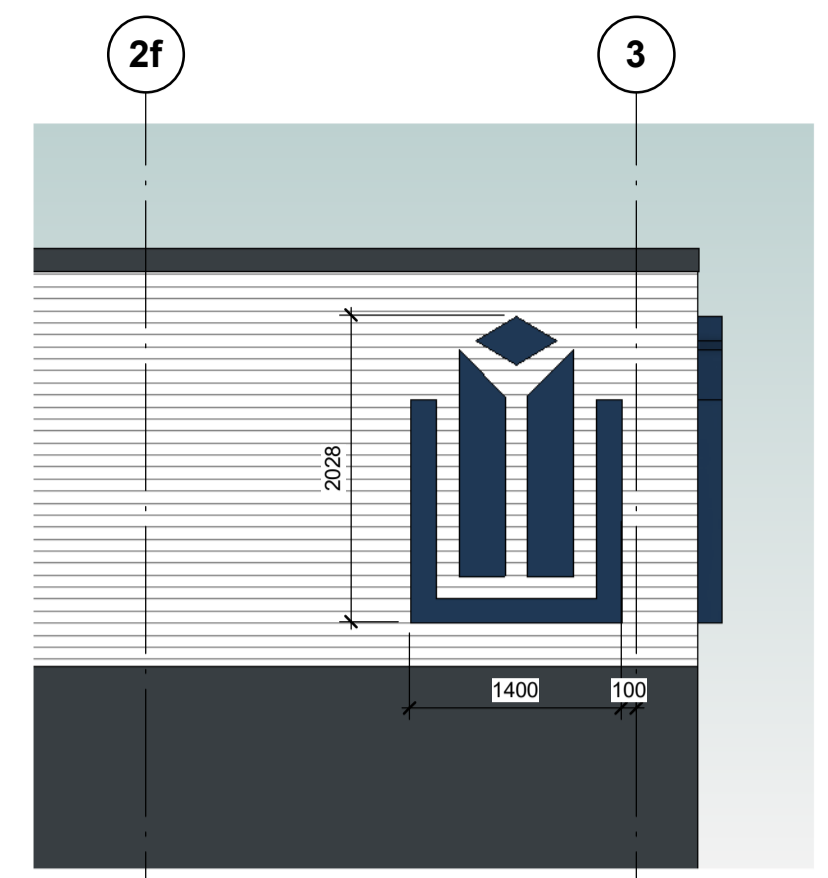
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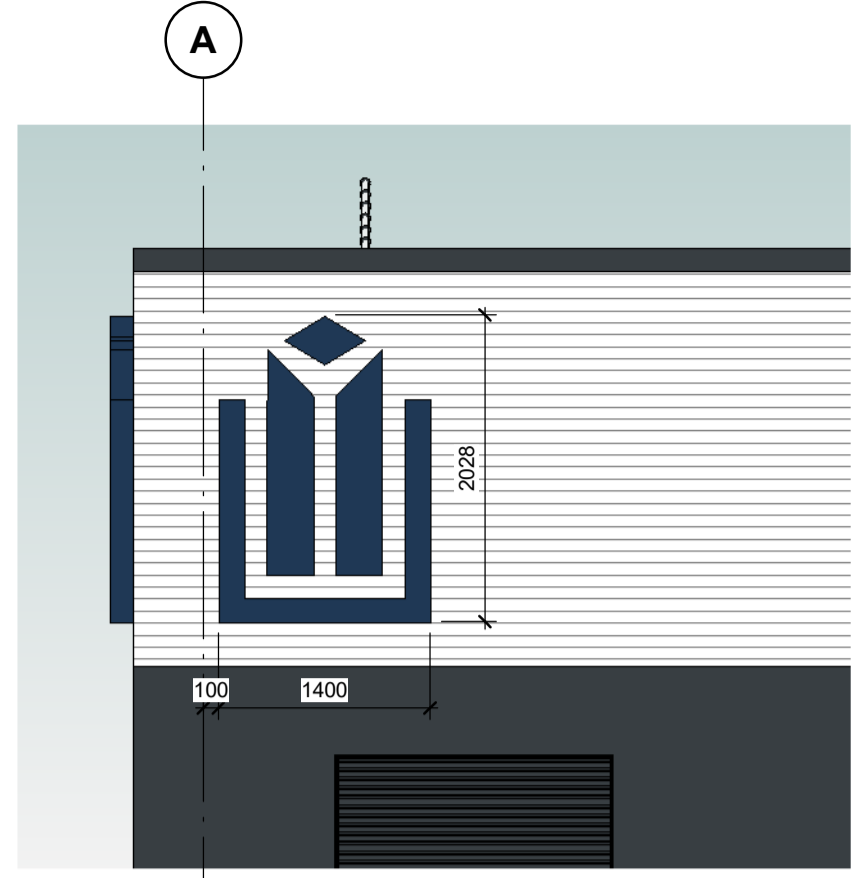


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Suitability / Status:	S3
Drawn / Checked:	SW/LK
Date:	15/03/23
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	Drawing no: P23025_UMC_BR_ZZ_DR_A_1301
Revision:	CR1

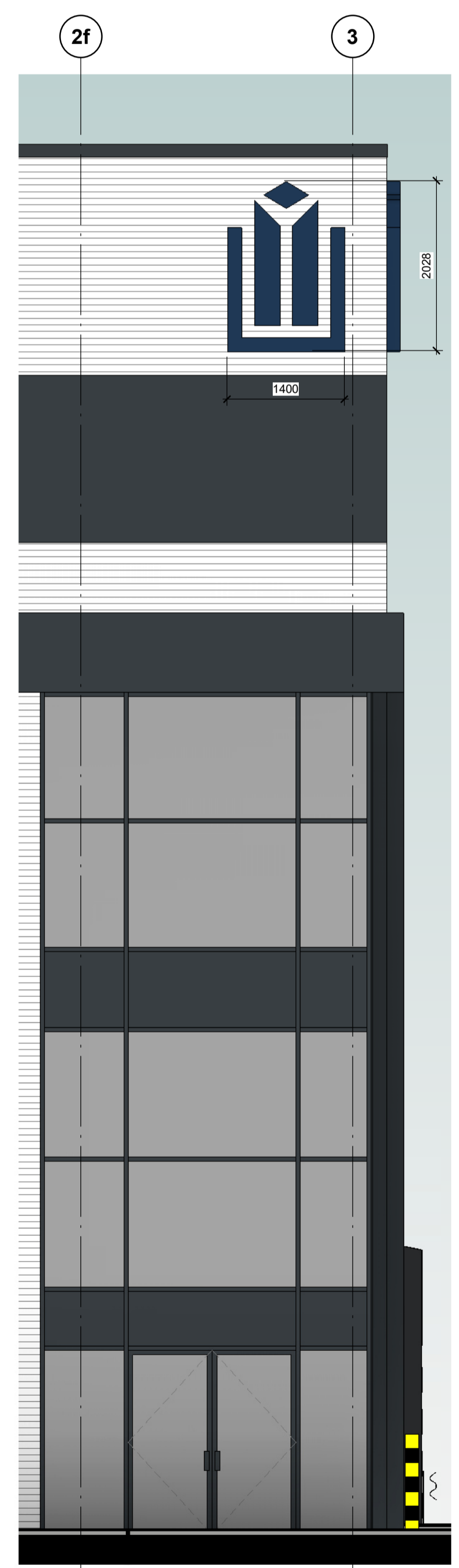
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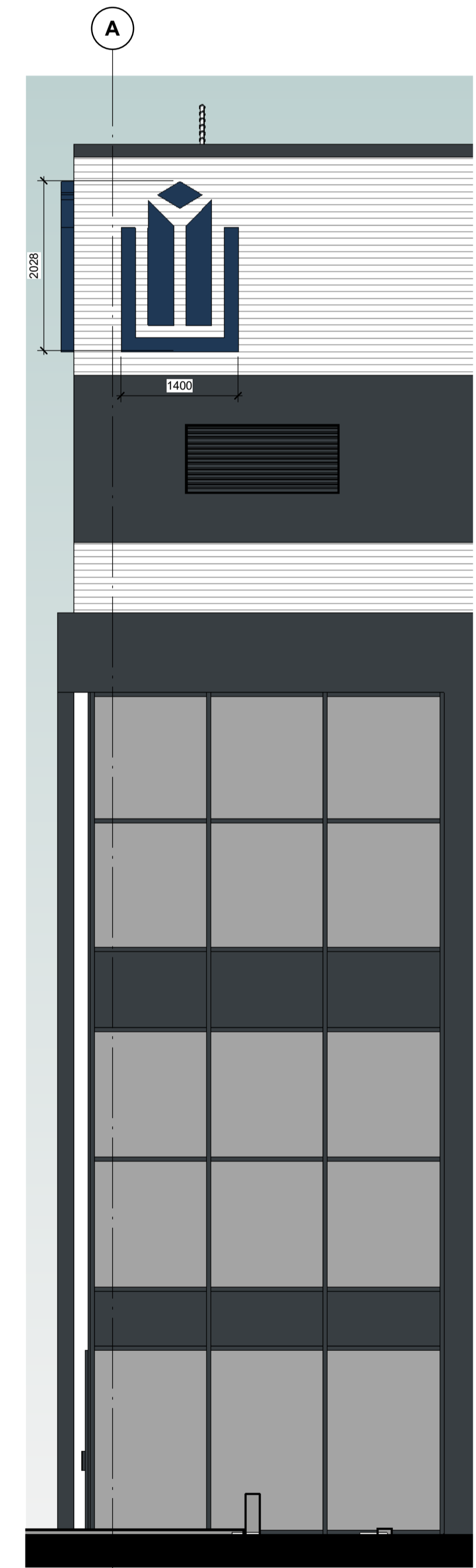
South East Elevation
[Setting out detail]
 1 : 50



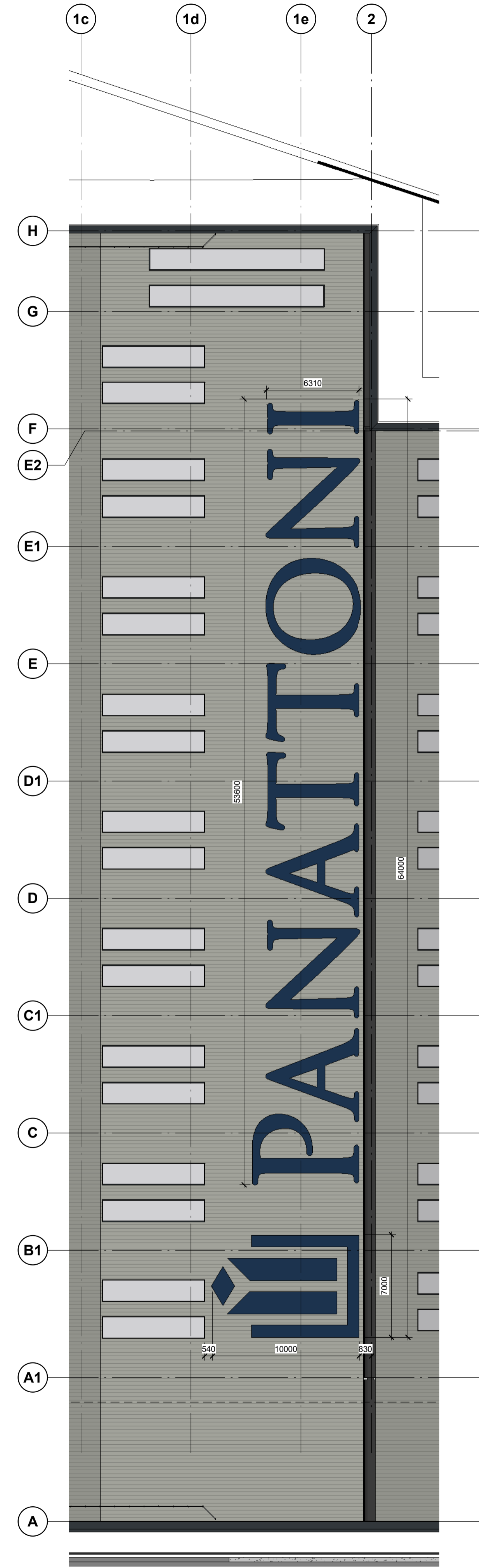
North East Elevation
[Setting out detail]
 1 : 50



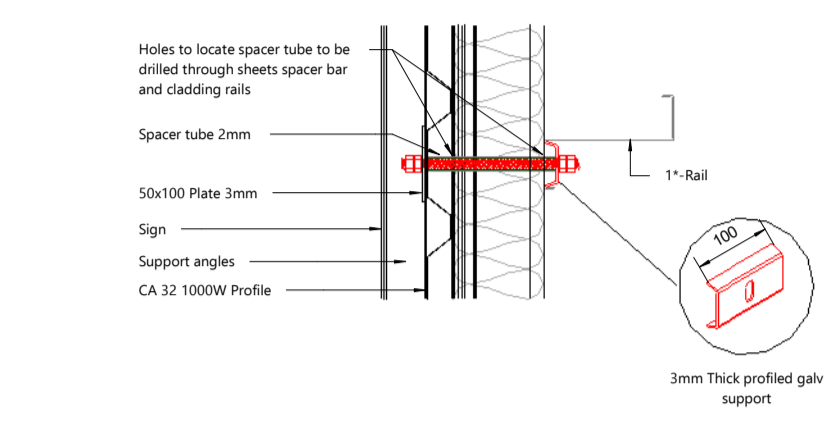
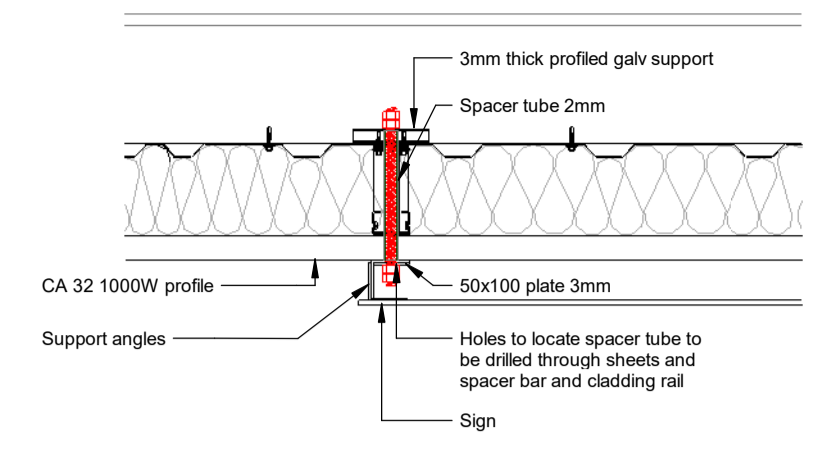
South East Elevation
 1 : 50



North East Elevation
 1 : 50



Roof Signage Details
 1 : 200



NOTE: SIGN SUPPORT FIXED THROUGH THE CLADDING TO THE CLADDING RAIL AS SHOWN. SUPPORT CENTRES & MAXIMUM SIGN WEIGHT TO BE DETERMINED BY A STRUCTURAL ENGINEER.

Typical Signage Details [Elevation mounted]
 1 : 10

Elevation mounted signage 2no.

Type	Powder coated folded aluminium individual letter signage. Individual letters supported from a wall mounted galvanized steel frame.
Height of ground	14,128mm
Height of character	2,028mm
Width of character	1,400mm
Depth of character	50mm
Finish	RGB 0 49 97
Illuminated/ nonilluminated	Non illuminated

Roof mounted signage 1no.

Type	Spray on sign CA to advise on finish.
Height of character	64,000mm
Width of character	10,000mm
Finish	RGB 0 49 97

CR1	Construction Record Issue	LK	SW	27.08.24
C01	Signage drawing updated following approval of roof arrangement sketch 0015. Signage details amended following design development.	SW	LK	09.02.24
P01	Preliminary Issue	SW	LK	24.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle
 Building Signage Details

Information Container LOIN	
LOD 4	LOI 2

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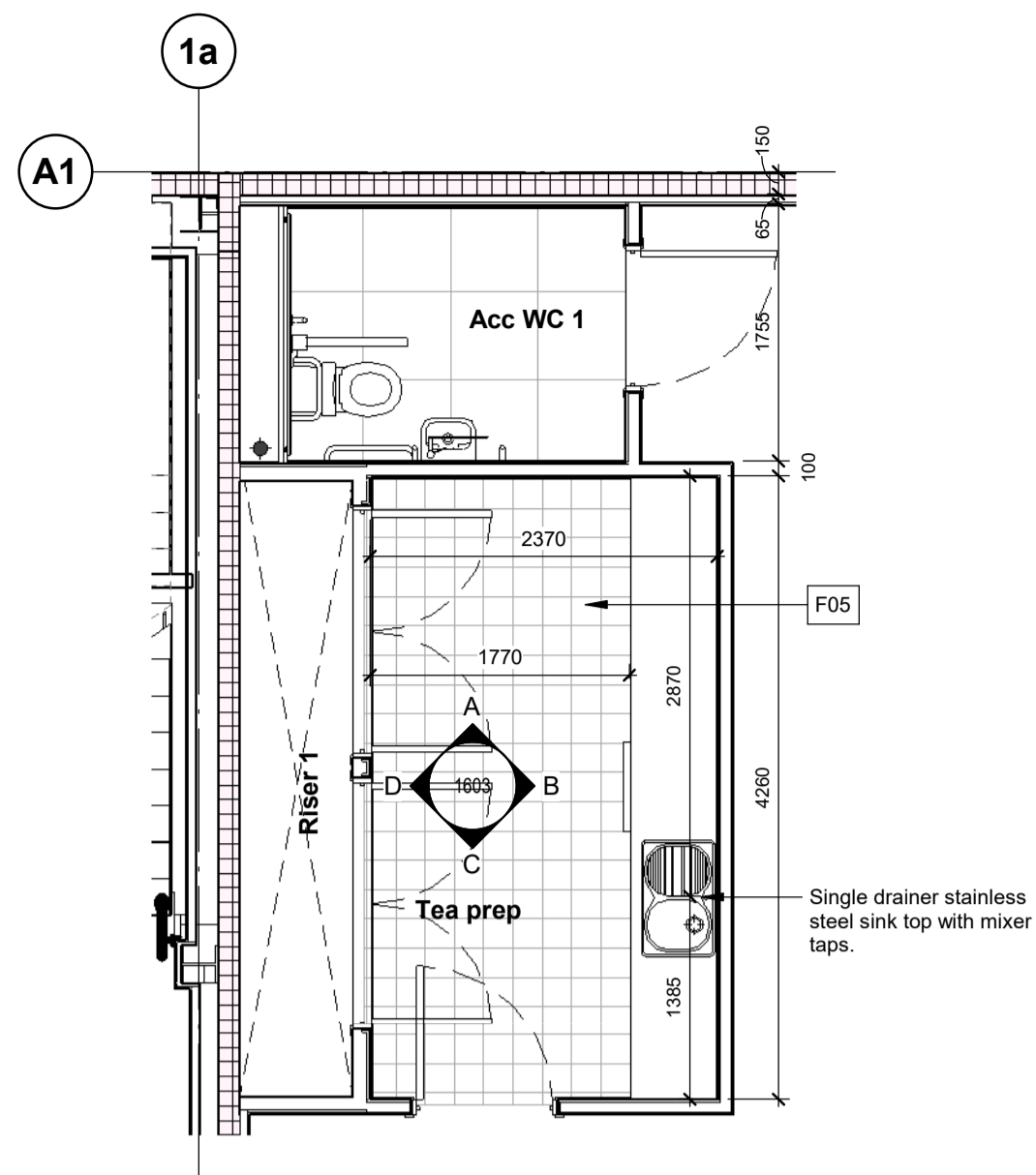
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Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	07/03/23
Scale:	As indicated @ A1
UMC Project Number:	22400
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Revision:	CR1

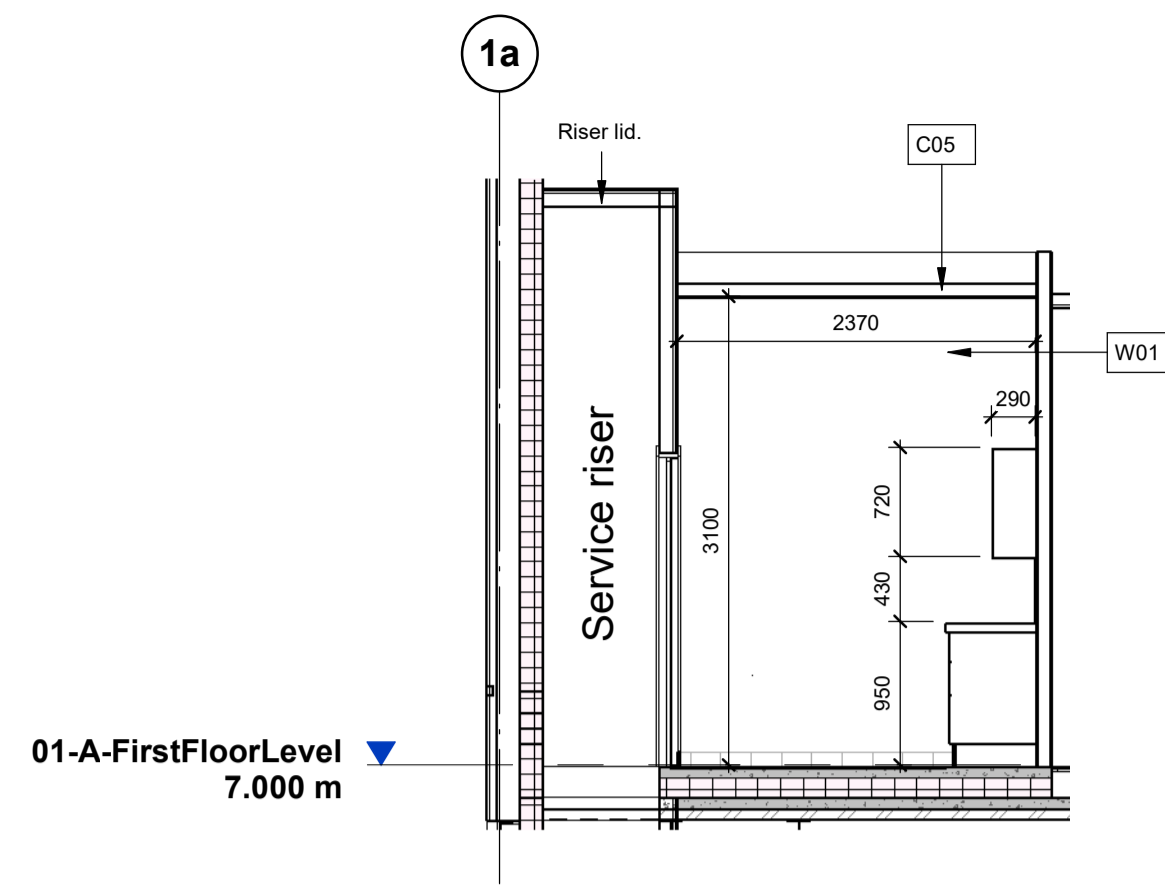
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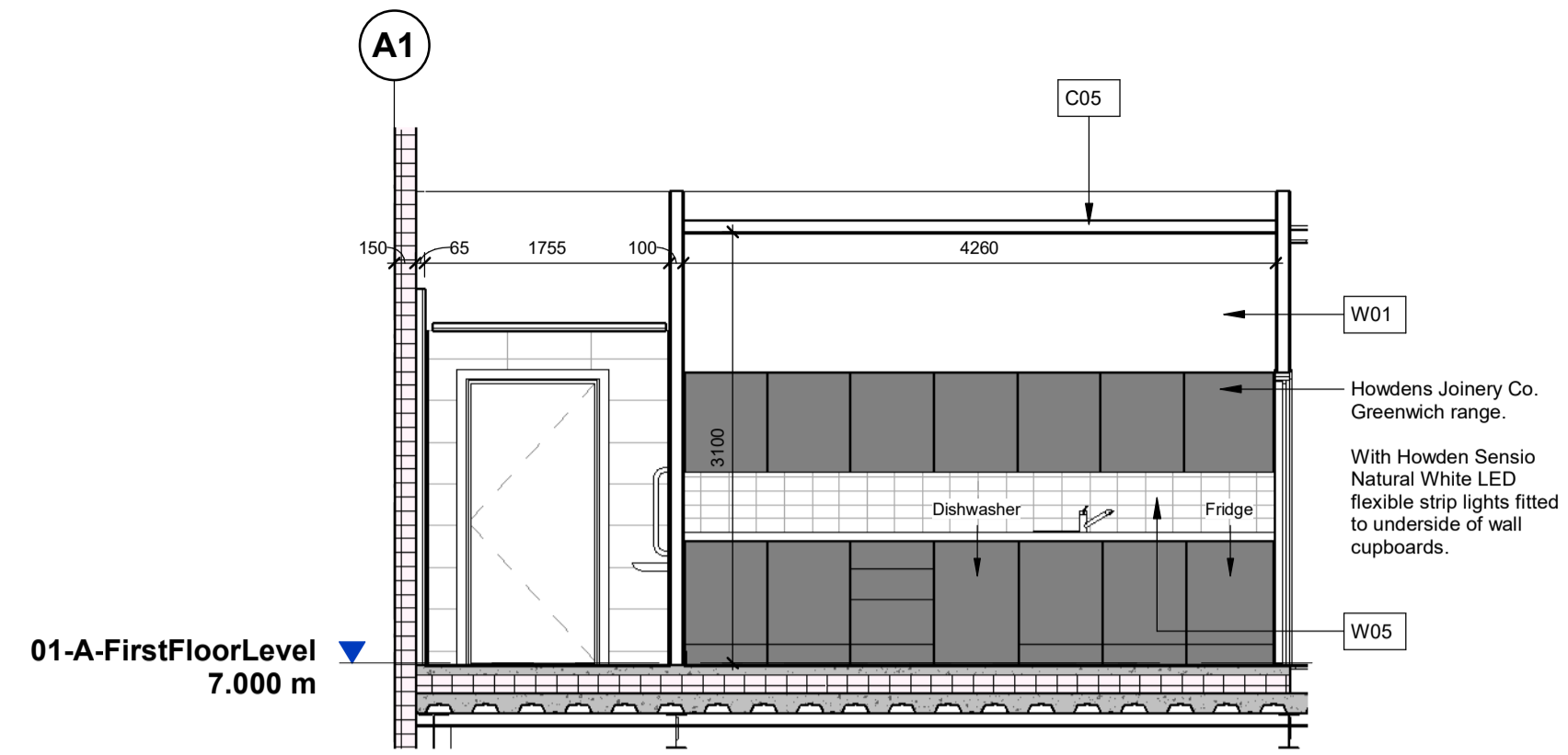
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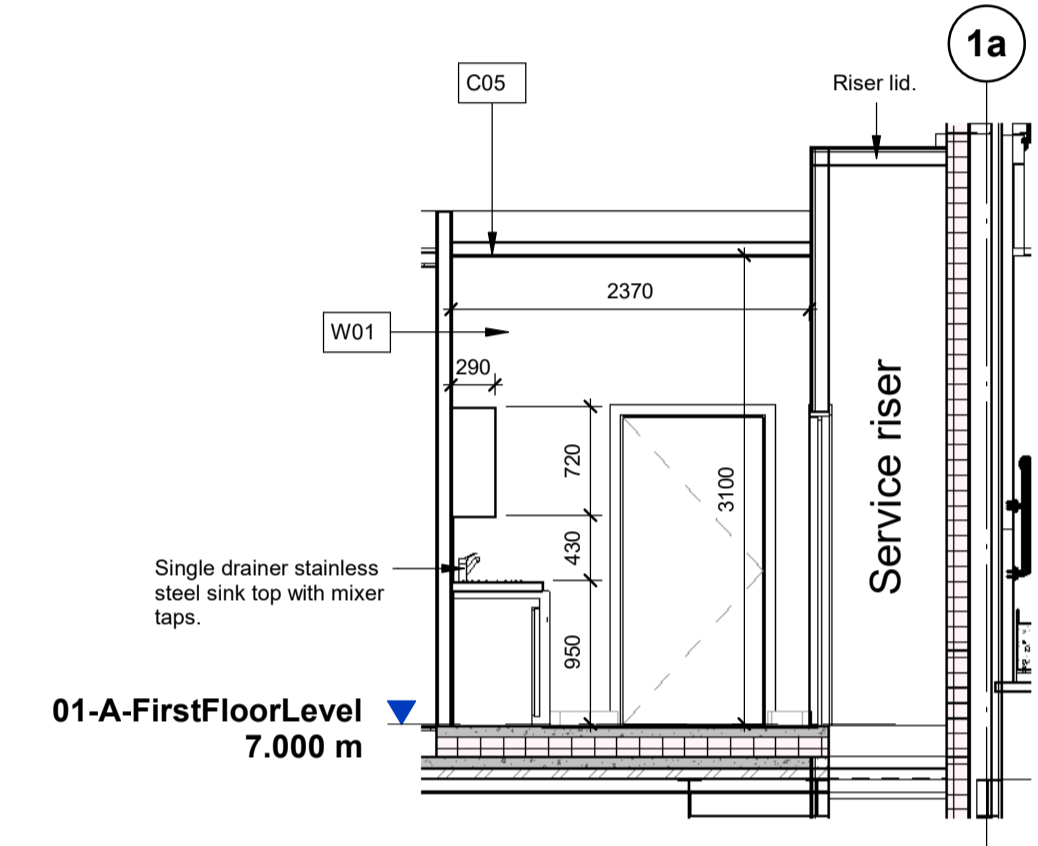
First Floor - Tea Prep Plan
1 : 50



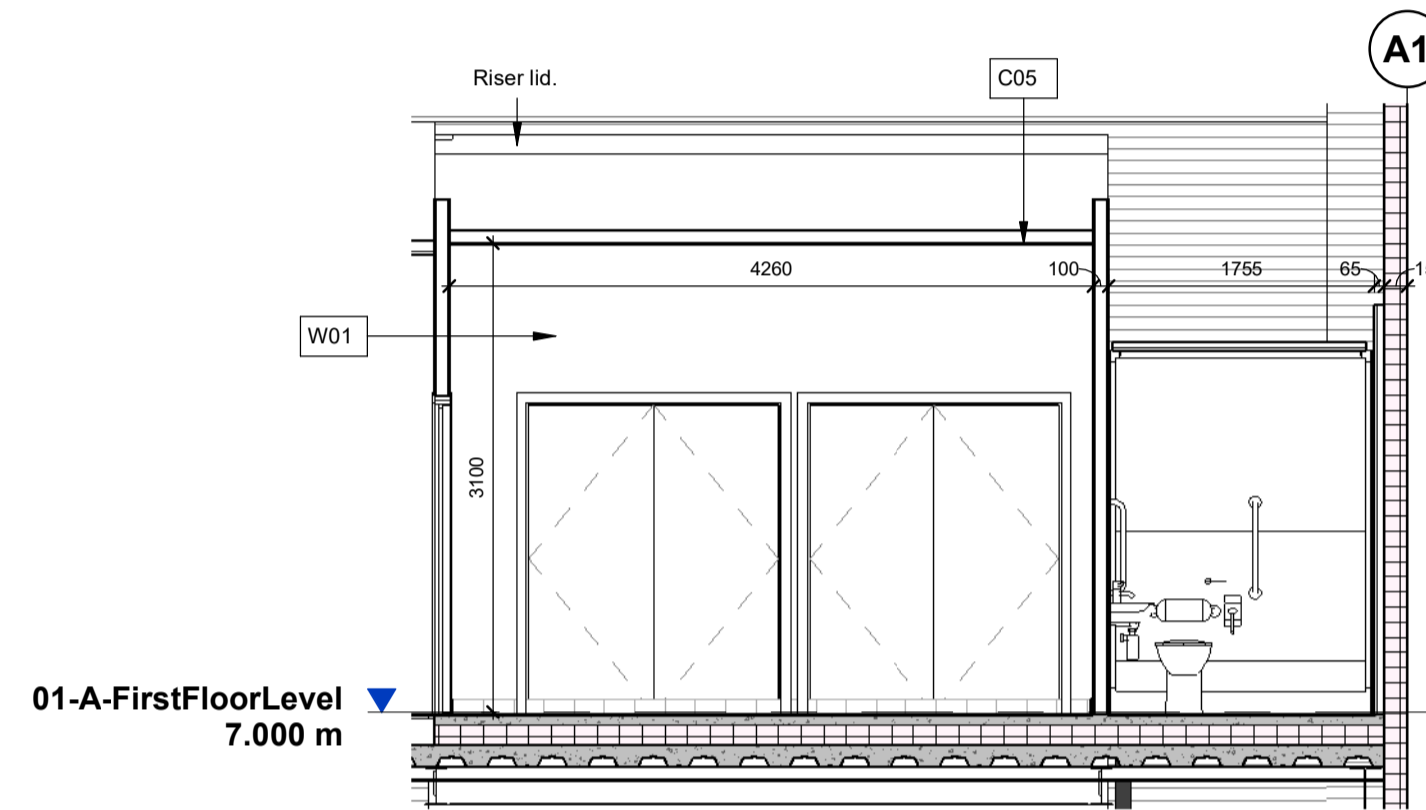
First Floor - Tea Prep, Elevation A
1 : 50



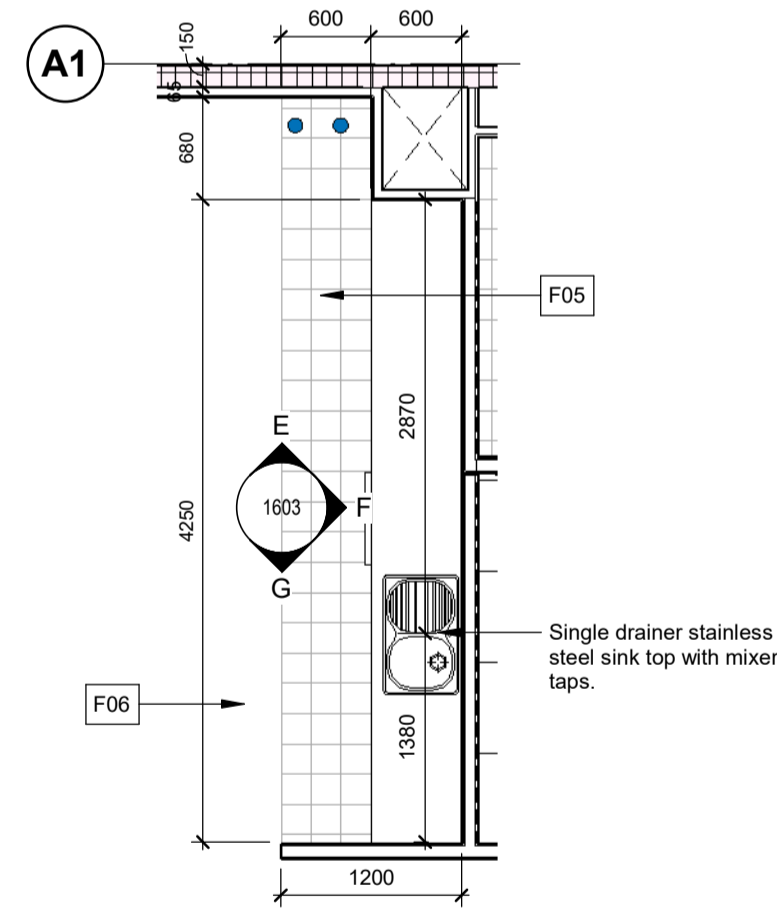
First Floor - Tea Prep, Elevation B
1 : 50



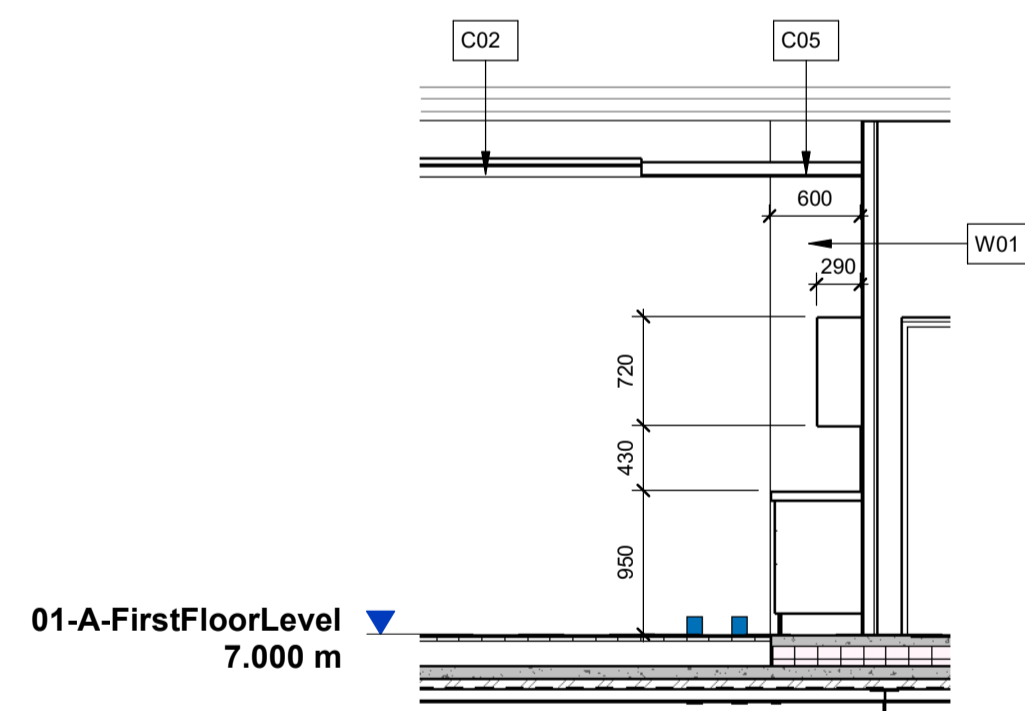
First Floor - Tea Prep, Elevation C
1 : 50



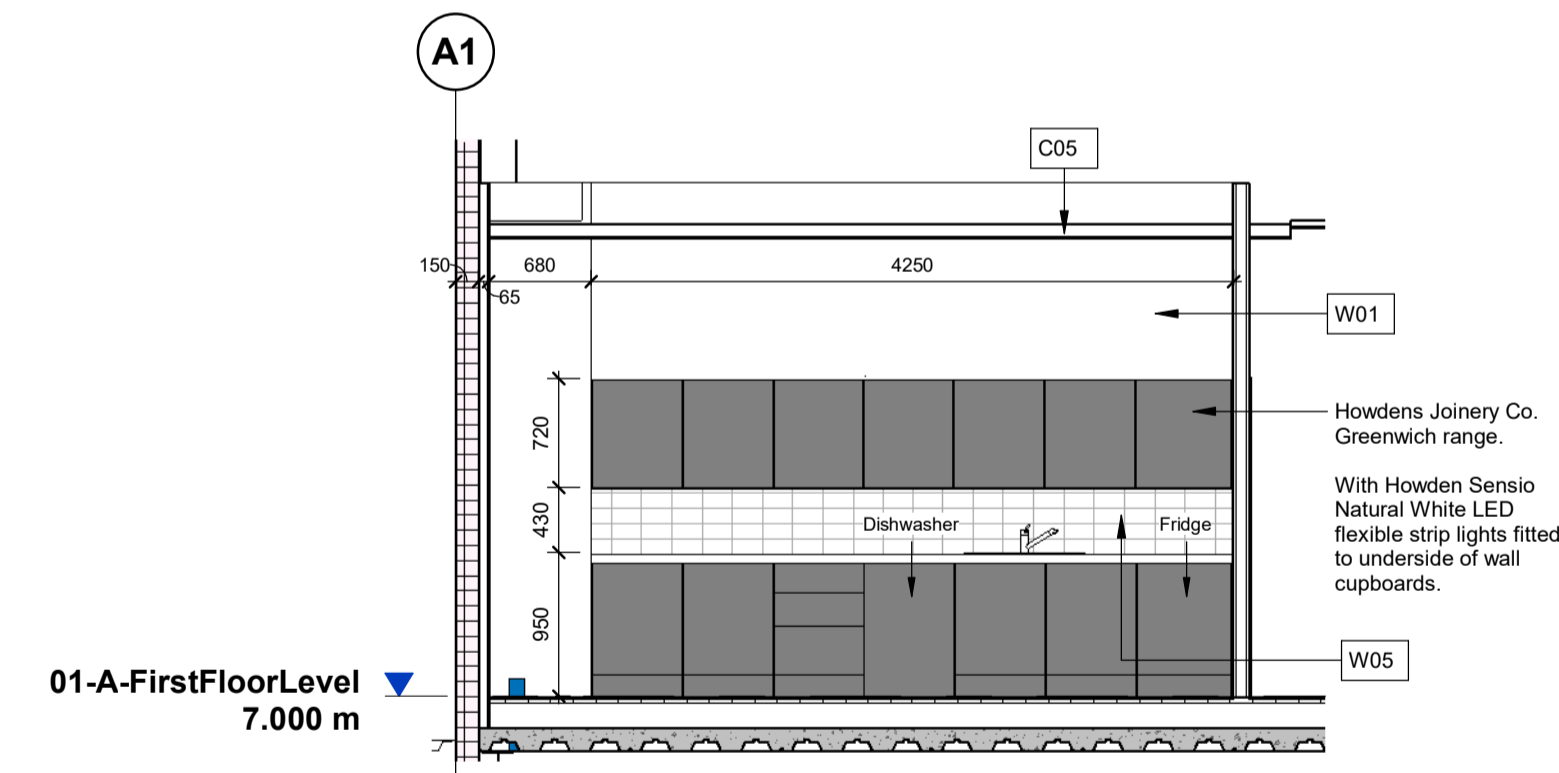
First Floor - Tea Prep, Elevation D
1 : 50



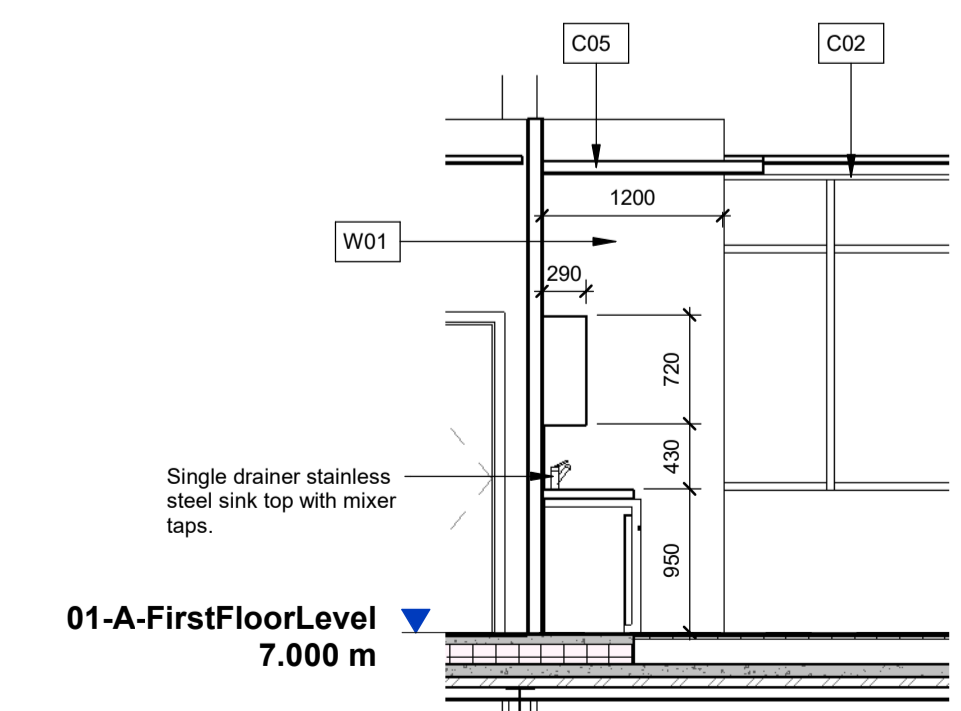
First Floor - Kitchenette Plan
1 : 50



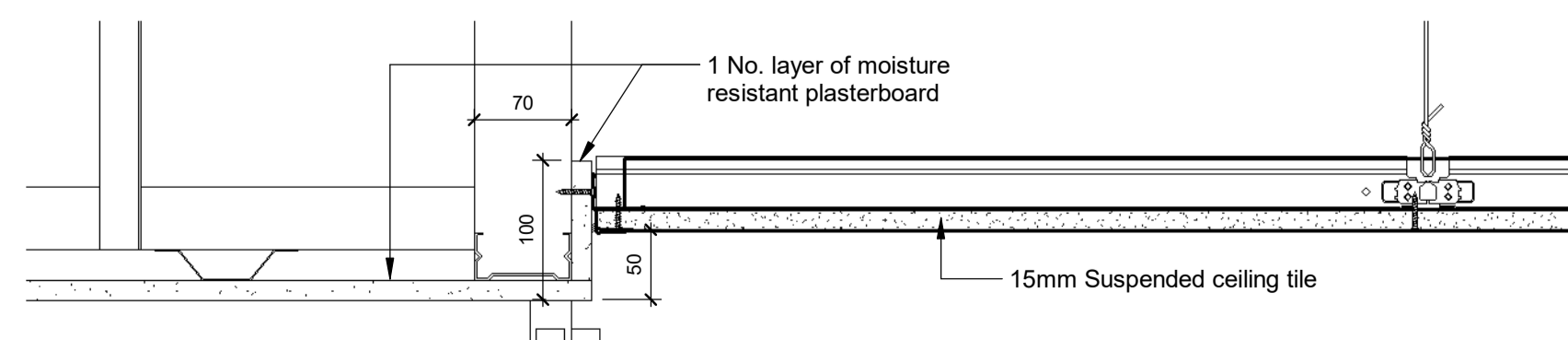
First Floor - Kitchenette, Elevation E
1 : 50



First Floor - Kitchenette, Elevation F
1 : 50



First Floor - Kitchenette, Elevation G
1 : 50



Typical Ceiling Transition Detail
1 : 5

Key

- CEILING FINISHES**
- C02 600x600mm wide Zentia Aruba tiles in lay-in grid system. 95% relative humidity rating.
 - C05 Dulux Absolute White vinyl matt emulsion painted plasterboard/ MF flat bulkhead to offices.
- FLOOR FINISHES**
- F05 200mmx200mmx8.3mm ceramic floor tiles Johnson Tiles Kerastar KER558 'Clay Speckle' Natural;
 - Skirting (S02) 200mmx100mmx8.3 Johnson Tiles Kerastar KER558 Clay Speckle Natural.
 - F06 Interface Transformation 'Fern' 1628010
 - Skirting (S04) Ex 100mmx25mm hardwood to match the door veneer, splayed skirting for clear finishing.
- WALL FINISHES**
- W01 Plaster/ dry lined and fully sealed. Painted with one mist coat and two coats Dulux Trade Diamond Matt emulsion paint BS4800 22B15 'Swansdown'.
 - W05 Splashback 200mmx100mmx6.5mm Johnsons Tiles 'Prismatics' PRG1 White Gloss laid horizontally (landscape), with proprietary white gloss or brushed stainless steel trims to all edges. Ceramic tiled splashback above all worktops taken up to underside of wall cupboards.
- NOTE:**
- For Finishes refer to:
- P23025_UMC_BR_ZZ_DR_A_1201 Office Ceiling Plans
 - P23025_UMC_BR_ZZ_DR_A_1208 Office Floor Finishes
 - P23025_UMC_BR_ZZ_DR_A_1209 Office Wall Finishes

CR1	Construction Record Issue	LK	SW	27.08.24
C01	Issued for construction	SW	LK	07.06.24
P01	Issued for review and comment	SW	LK	30.01.24

rev	amendments	by	chk	date
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Horton Road, Poyle
Office Oasis Elevations

Information Container LOIN	
LOD 4	LOI 2

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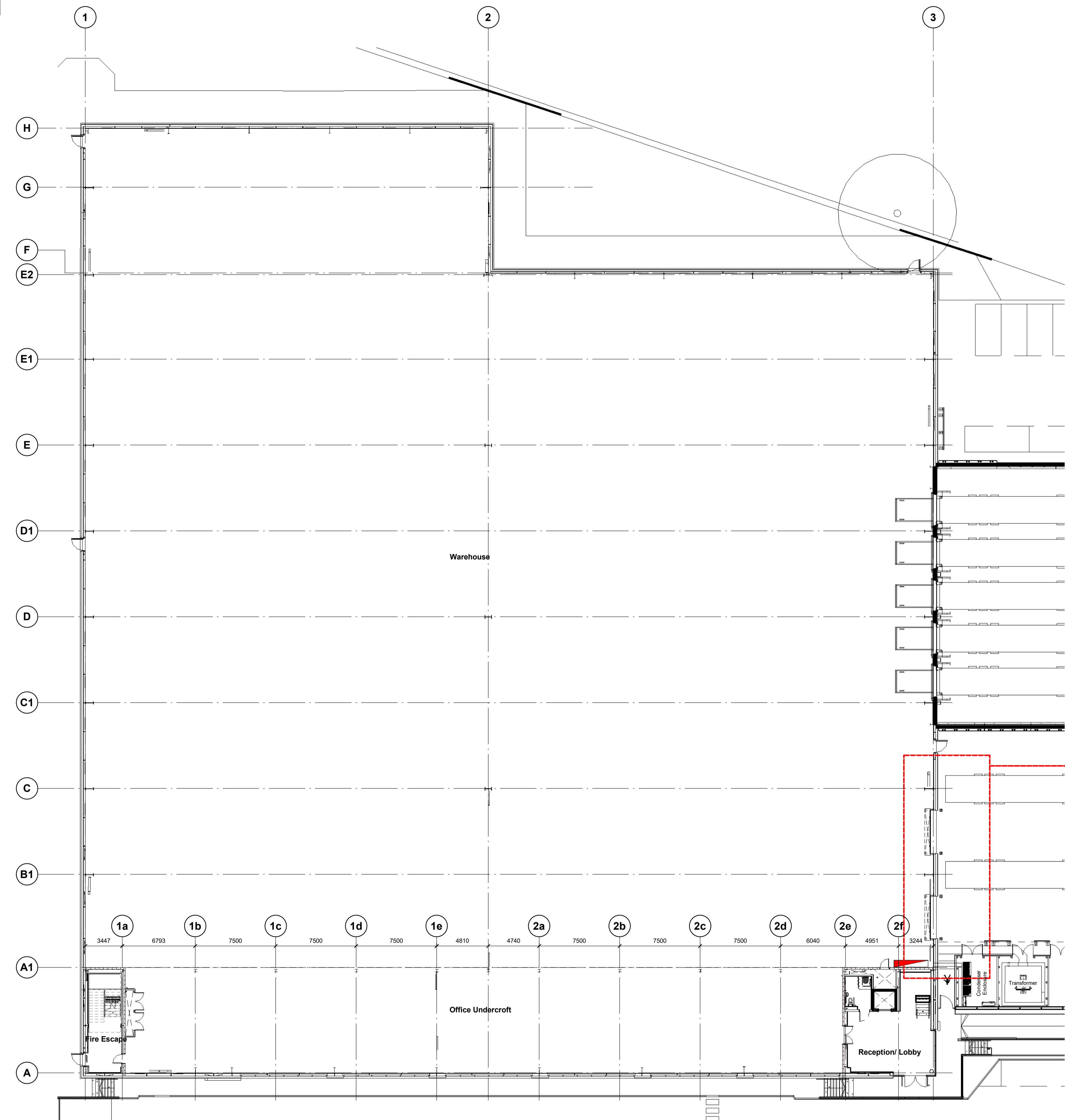
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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	08/01/24
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	Drawing no: P23025_UMC_BR_01_DR_A_1603
Revision:	CR1

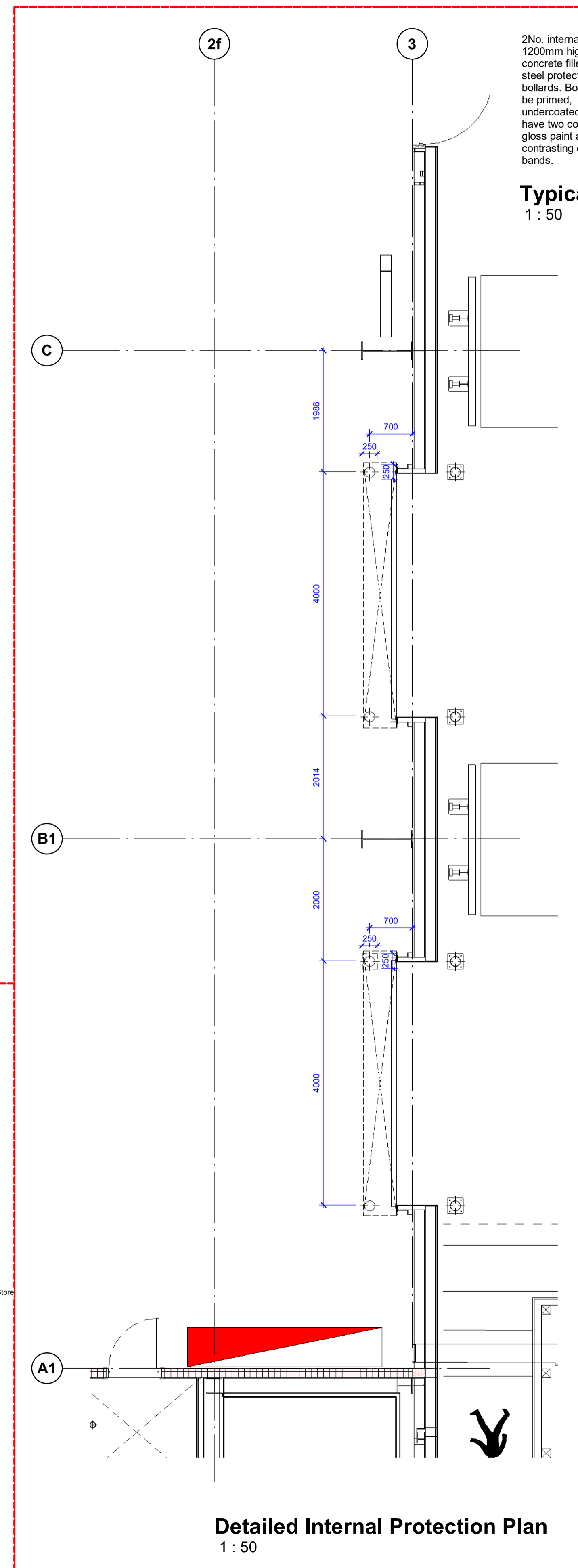
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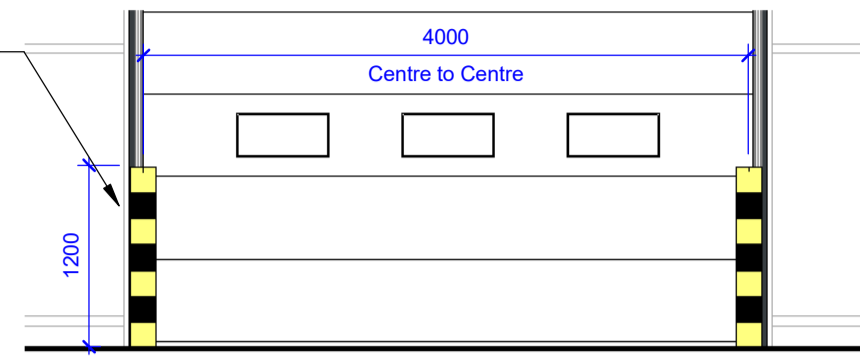


Overall Internal Protection Plan
 1 : 200

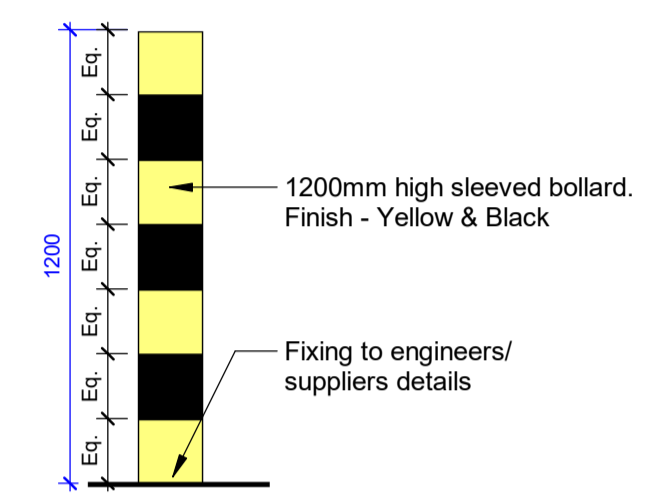


Detailed Internal Protection Plan
 1 : 50

2No. internal 1200mm high concrete filled tubular steel protective bollards. Bollards to be primed, undercoated and have two coats of gloss paint applied in contrasting colour bands.



Typical Level Access Door Elevation
 1 : 50



Typical Bollard Detail
 1 : 20

C01	Initial Issue	SW	LK	09.08.24
CR1	Construction Record Issue	LK	SW	27.08.24
rev	amendments	by	ckd	date

Horton Road, Poyle
 Internal Protection Drawing

Information Container LOIN	
LOD 2	LOI 4

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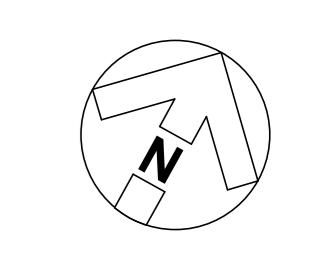


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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	LK/ SW
Date:	09/08/24
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	Drawing no: P23025_UMC_BR_ZZ_DR_A_1605
Revision:	CR1

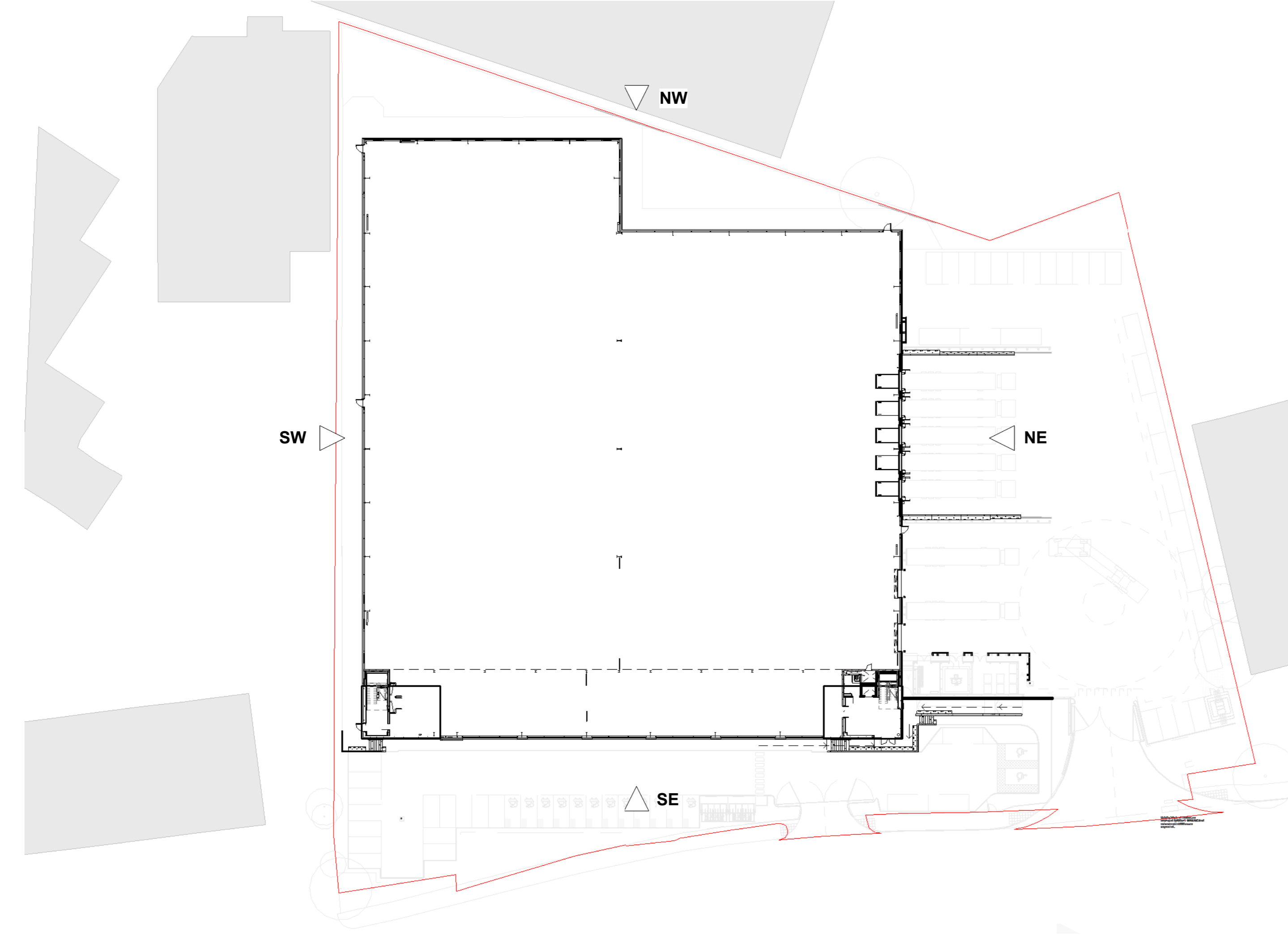
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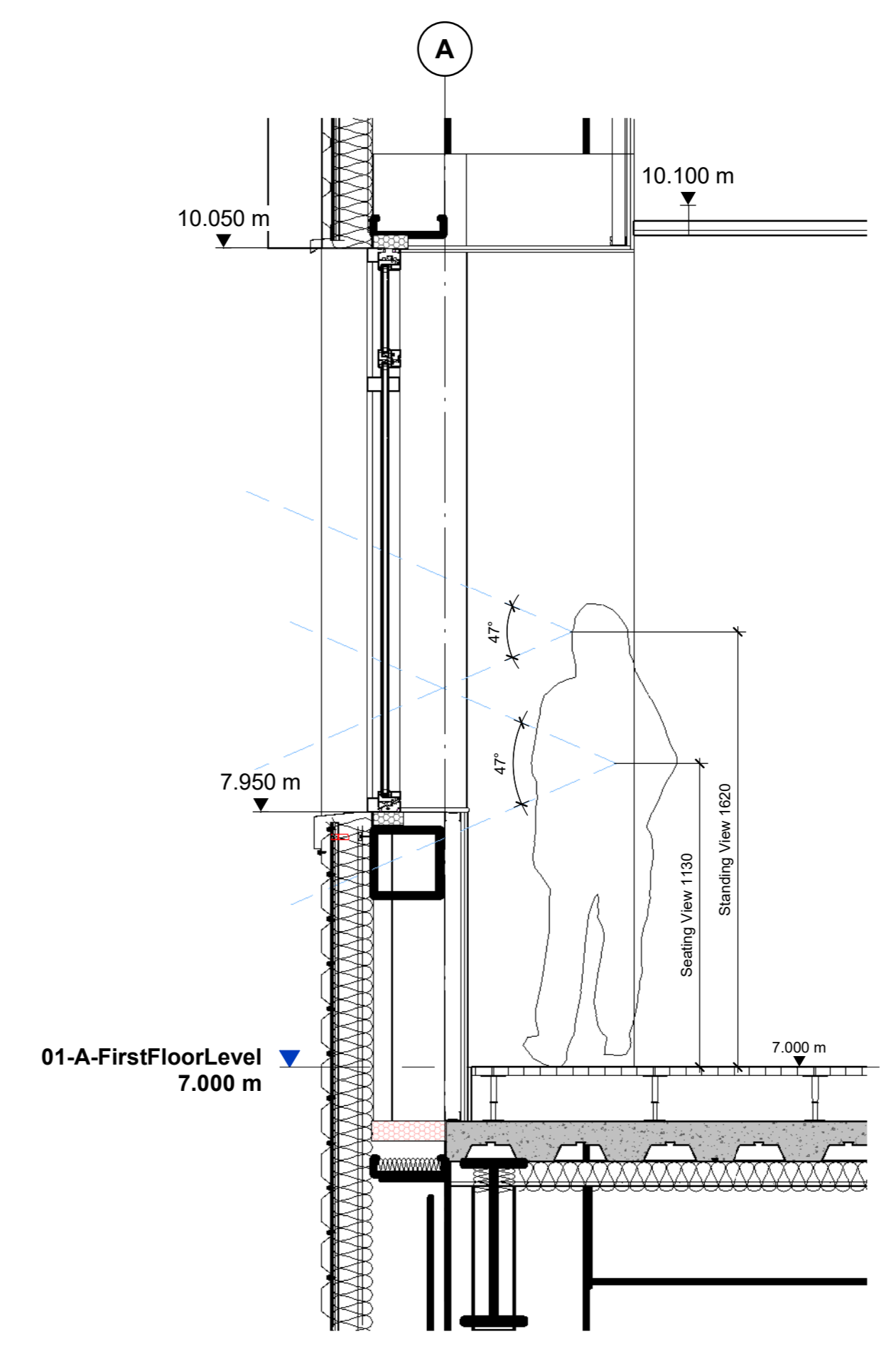


Key:

- Occupied space
- Extents of glazing visible within occupied space
- Extents of office wall visible within occupied space
- Indicative of nearby buildings
- Unoccupied warehouse undercroft
- Window Aperture
- Structural Opening



Site Context Plan
1: 500



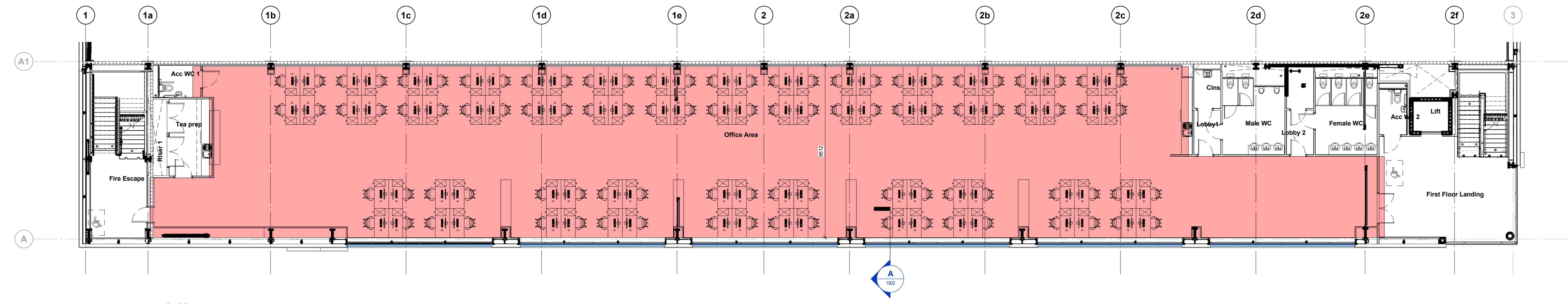
Window Section A
1: 20

Minimum glazed areas for view when windows are restricted to one wall

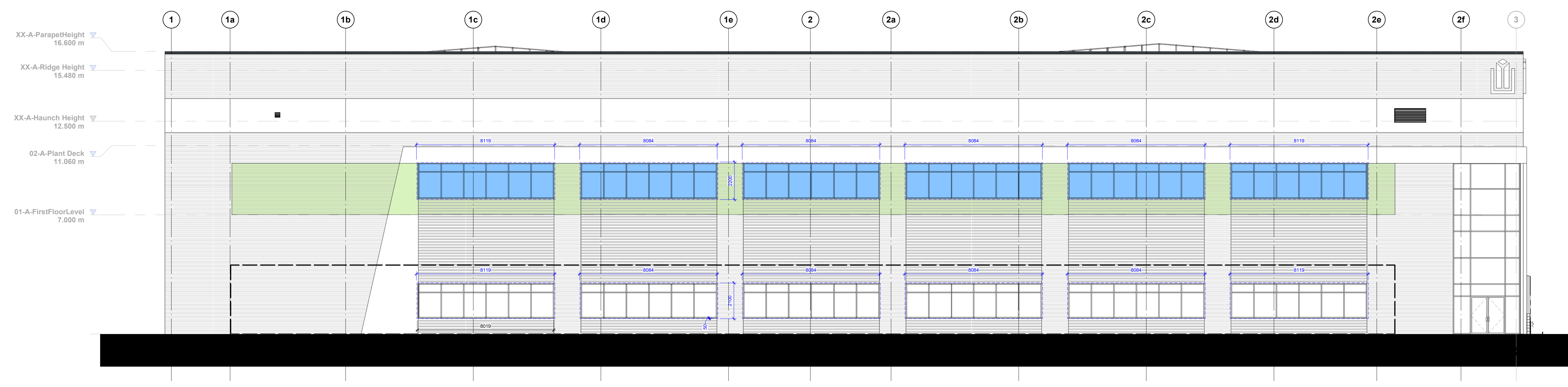
Depth of room from outside wall (max.) m	Percentage of window wall as seen from inside (min.) %
B > 11	25

Total External Wall Area for Welfare	Total Glazed Area for Welfare	Percentage of Glazed Area
215 sq m	105 sq m	49%

Total Area of Occupied Space	572 sq m
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First Floor Office Plan
1: 100



South East Elevation
1: 100

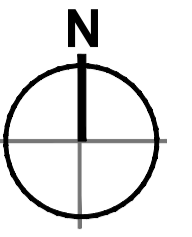


CR1 Construction Record Issue LK SW 27.08.24
 rev amendments by ckd date
Horton Road, Poyle
 Hea 01 - Daylighting and View Out

Information Container LOIN
 LOD 2 LOI 2
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 RIBA Plan Stage: Stage 4 - Detailed Design
 Document Suitability: CR
 Drawn / Checked: SW/LK
 Date: 10/05/23
 Scale: As indicated © AD
 UMC Project Number: 22400
 Document Reference: Drawing no: P32025_UMC_BR_ZZ_DR_A_1902 Revision: CR1

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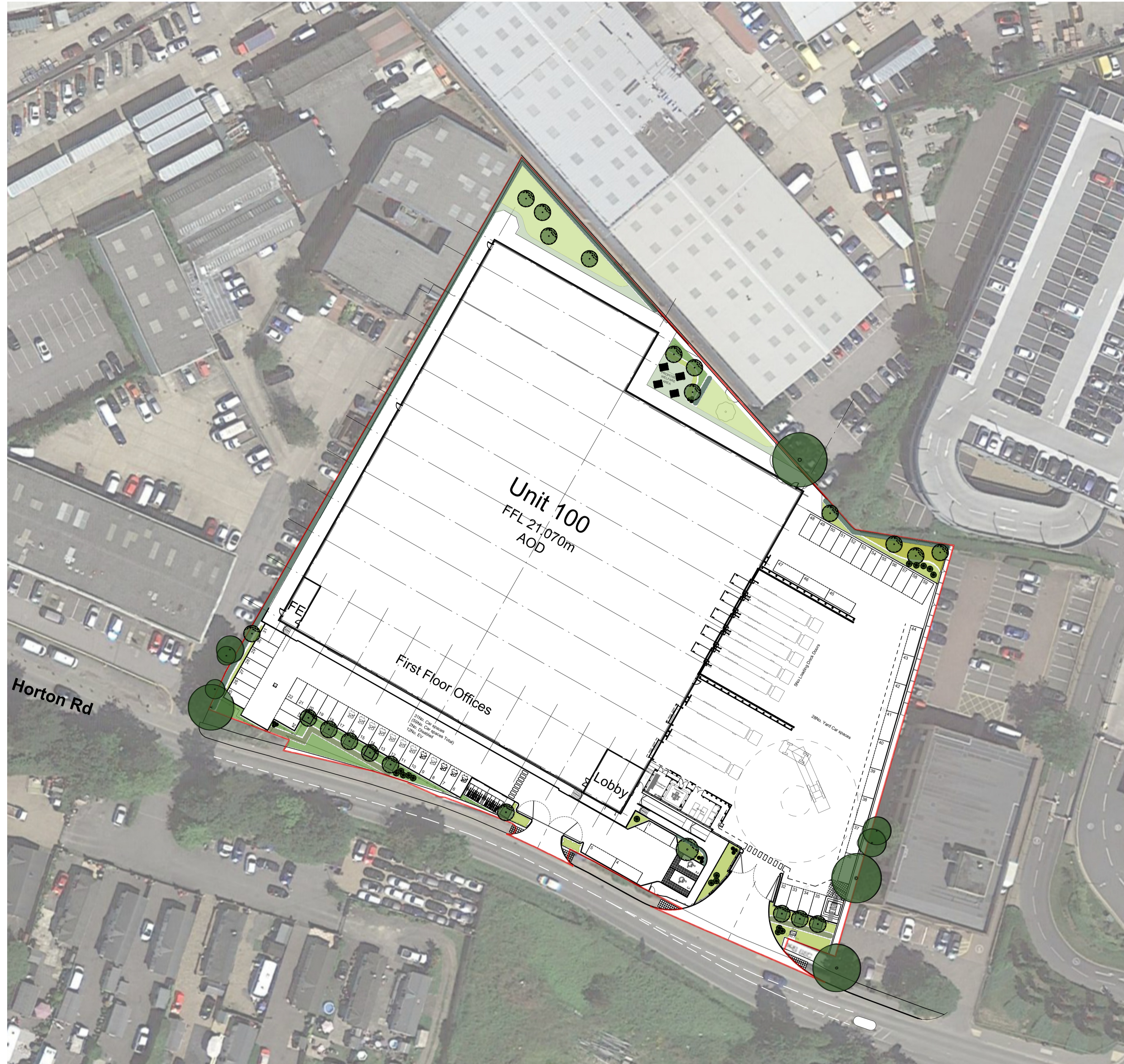


Schedule of Accommodation

Total GIA	-	77,039 ft²	(7,157 m²)
Total GEA	-	79,082 ft²	(7,347 m²)
Site Area	-	3.17 acres	1.28 ha
Site Density GIA	-		55.82%
Site Density GEA	-		57.30%

Unit 100			
Warehouse Area	-	67,609 ft²	(6,281 m²)
Office Area (incl. GF core)	-	9,430 ft²	(876 m²)
Unit 100 GIA	-	77,039 ft²	(7,157 m²)
Unit 100 GEA	-	79,082 ft²	(7,347 m²)

Planning Application Boundary



Site Layout
Scale 1:500

CR1	Construction Record Information	LK	SW	27.08.24
C08	Graded path layout updated to suit comments from Clarke Bank, this was to include a level landing to break run	LK	SW	05.08.24
C07	White lining for accessible bays shown on drivers side as per Winvic comment 18.06.24	SW	LK	24.06.24
C06	Car park entrance kerb line amended to reflect pocketed gates. Retaining walls coordinated with FP McCann. Landscaping added to layout.	LK	SW	13.06.24
C05	Yard entrance adjusted to suit Road Safety Audit, cycle shelters moved adjacent main entrance in main car park, fence lines adjusted to suit new entrance layout	LK	SW	08.04.24
C04	Site layout coordinated with the services required for the condenser and transformer enclosures. Retaining walls, kerbs and acoustic fence revised due to design development.	LK	SW	22.03.24
C03	Cycle capacity increased and grid line 2f amended to align to drawing 1001. South west perimeter path increased to 1.8m in width.	SW	LK	05.03.24
C02	Office grid included for on site layout drawing. Substation positioned inside existing wall line following acceptance from Harlaxton 27.02.24.	SW	LK	28.02.24
C01	Site masterplan amended in line with DAP approvals. Car Park & Retaining Wall Rearrangement - DAP-002, Perimeter Path - DAP-004, Means of Safe Access within the Yard - DAP-005	SW	LK	14.02.24
P02	Site Masterplan amended to reflect updated building footprint. Wall on GL A moved outboard by 70mm to account for 270mm cladding rail zone	SW	LK	09.02.24
P01	Preliminary Issue	SW	LK	27.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle

Site Layout

Information Container LOD:	LOD 400
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RIBA PoW Stage:	5 - Construction
Document Suitability:	CR
Drawn / Checked:	JW / CA
Date:	01/11/2022
Scale:	1:500 A1
UMC Project Number:	22400
Document Reference:	Drawing no: P23025_UMC_EX_00_DR_A
Revision:	0601 CR1

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10m SCALE 1:500

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Existing palisade fencing A
Scale NTS



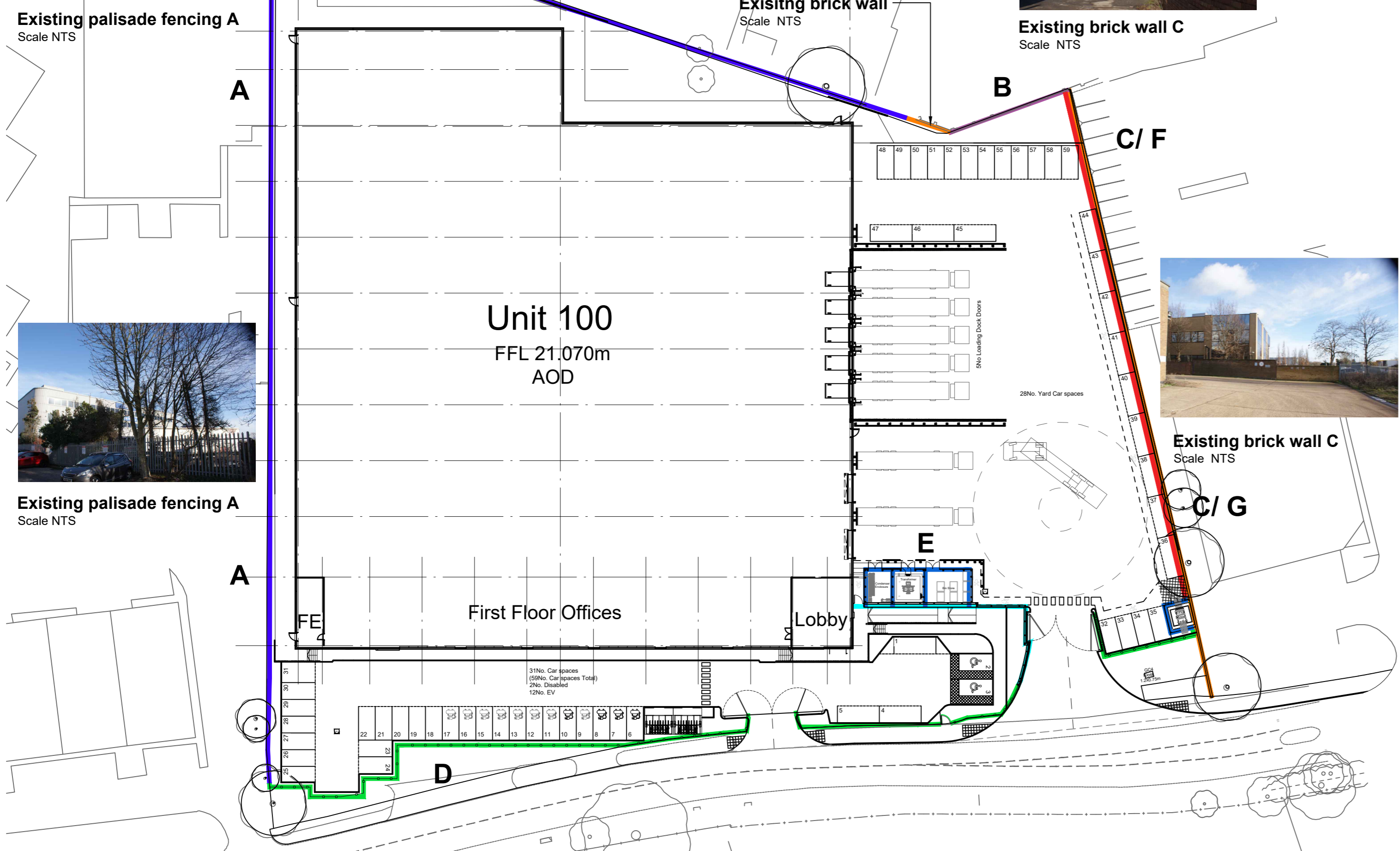
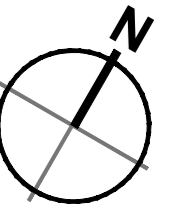
Existing brick wall
Scale NTS



Existing brick wall C
Scale NTS



Typical Paladin Fence D
Scale NTS



Unit 100
FFL 21.070m
AOD

First Floor Offices

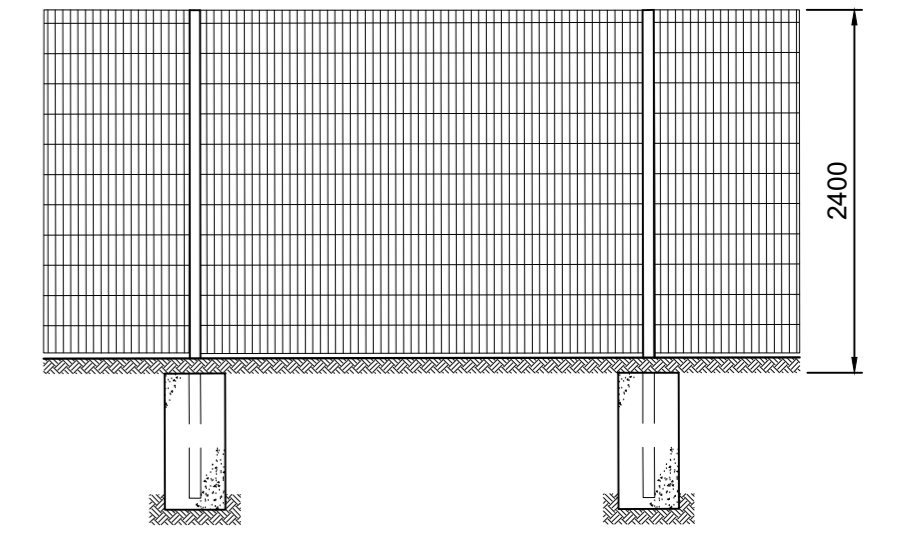
Lobby



Existing palisade fencing A
Scale NTS



Existing brick wall C
Scale NTS



2.4m High Typical Paladin Fence
Scale 1:50

CR1	Construction Record Information	LK	SW	27.08.24
C02	Hit and miss and acoustic fencing amended to reflect 1.8m as per Winvic request 14.08.24	SW	LK	15.08.24
C01	Issued for construction	SW	LK	14.08.24
rev	amendments	by	ckd	date

Horton Road, Poyle

Fence Details

Information Container LOD:	LOD 400
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RIBA PoW Stage:	5 - Construction
Document Suitability:	CR
Drawn / Checked:	SW / LK
Date:	21/03/2023
Scale:	As noted@ A2
UMC Project Number:	22400
Document Reference:	P23025_UMC_EX_00_DR_A
Drawing no:	0704
Revision:	CR1

Fence Location Plan
Scale 1:500

- █ Denotes existing palisade fencing
- █ Denotes existing paladin fence with brick wall
- █ Denotes existing brickwall
- █ Denotes extent of 2.4m high paladin security fence
- █ Denotes extent of 2.4m high hit and miss fence
- █ Denotes extent of 1.8m high acoustic barrier
- █ Denotes extent of 2.1m high timber close boarded fence



Hit and Miss Fencing E
Scale NTS

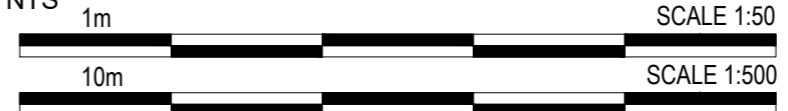
Fencing to comprise 100x22mm pressure treated kiln dried planed all round eased edge timber boards fixed hit and miss both sides of 100x75mm pressure treated kiln dried eased edge planed all round timber rails fixed to galvanized steel posts.



Typical Palisade Fence F
Scale NTS

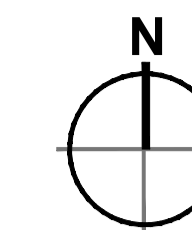


Typical Close Boarded Timber Fence G
Scale NTS



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KEY

- Type 'A' Armco Barrier
- Type 'B' Armco Barrier with fixed handrail to 1100mm high adjacent retaining wall
- Type 'C' 1200mm high sleeved bollard. Finish - Yellow & Black



External Protection Plan

Scale 1:500

CR1	Construction Record Issue	SW	LK	27.08.24
C02	Drawing updated to remove wheel guides (type D) as per Winvic request, bollard added to sub station door as per conversations	LK	SW	21.08.24
C01	Construction Issue	SW	LK	09.08.24
P01	Preliminary Issue	SW	LK	27.11.23
rev	amendments	by	ckd	date

Horton Road, Poyle, London

External Protection Details

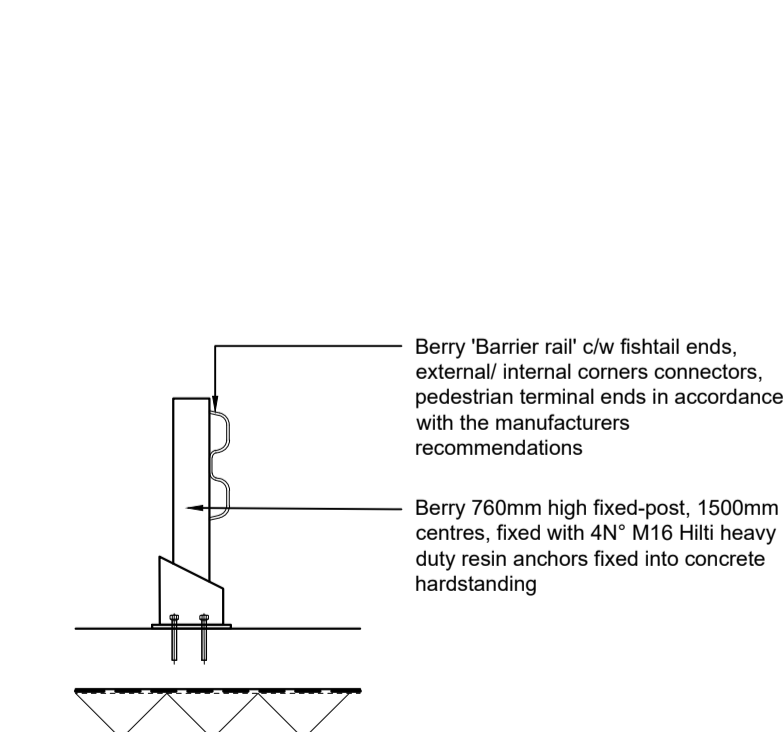
Information Container LOD:	LOD 200
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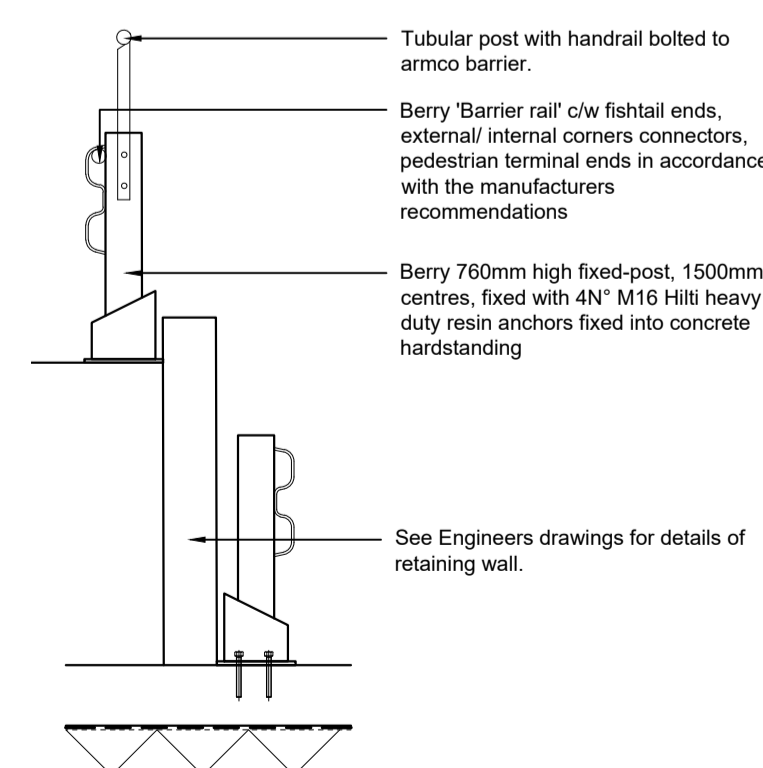


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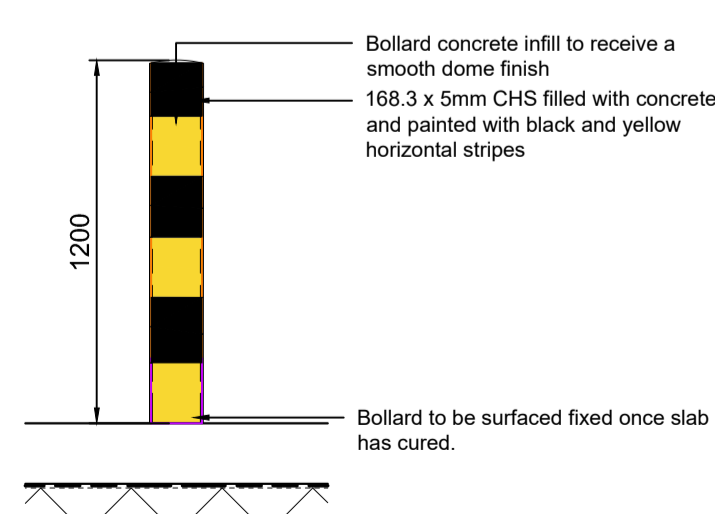
RIBA PoW Stage:	5 - Construction
Document Suitability:	S0
Drawn / Checked:	SW / LK
Date:	27/04/2023
Scale:	1:500 A1
UMC Project Number:	22400
Document Reference:	Drawing no: Revision:
P23025_UMC_EX_00_DR_A	0707 CR1



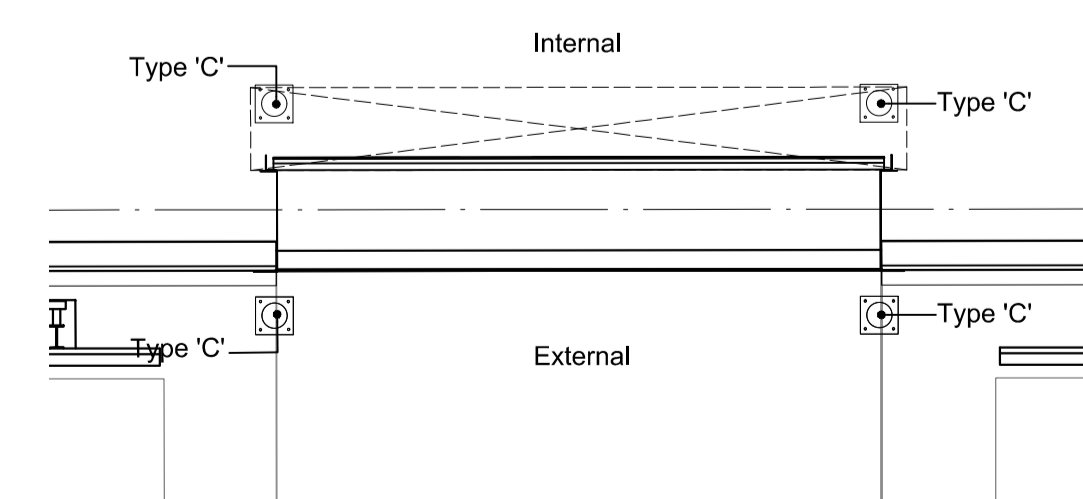
Type 'A' Armco Barrier
Scale 1:25



Type 'B' Armco Barrier with fixed Handrail Detail
Scale 1:25



Type 'C' 1200mm Bollard Detail
Scale 1:25



Level Access Door Bollard Setting Out
Scale 1:50

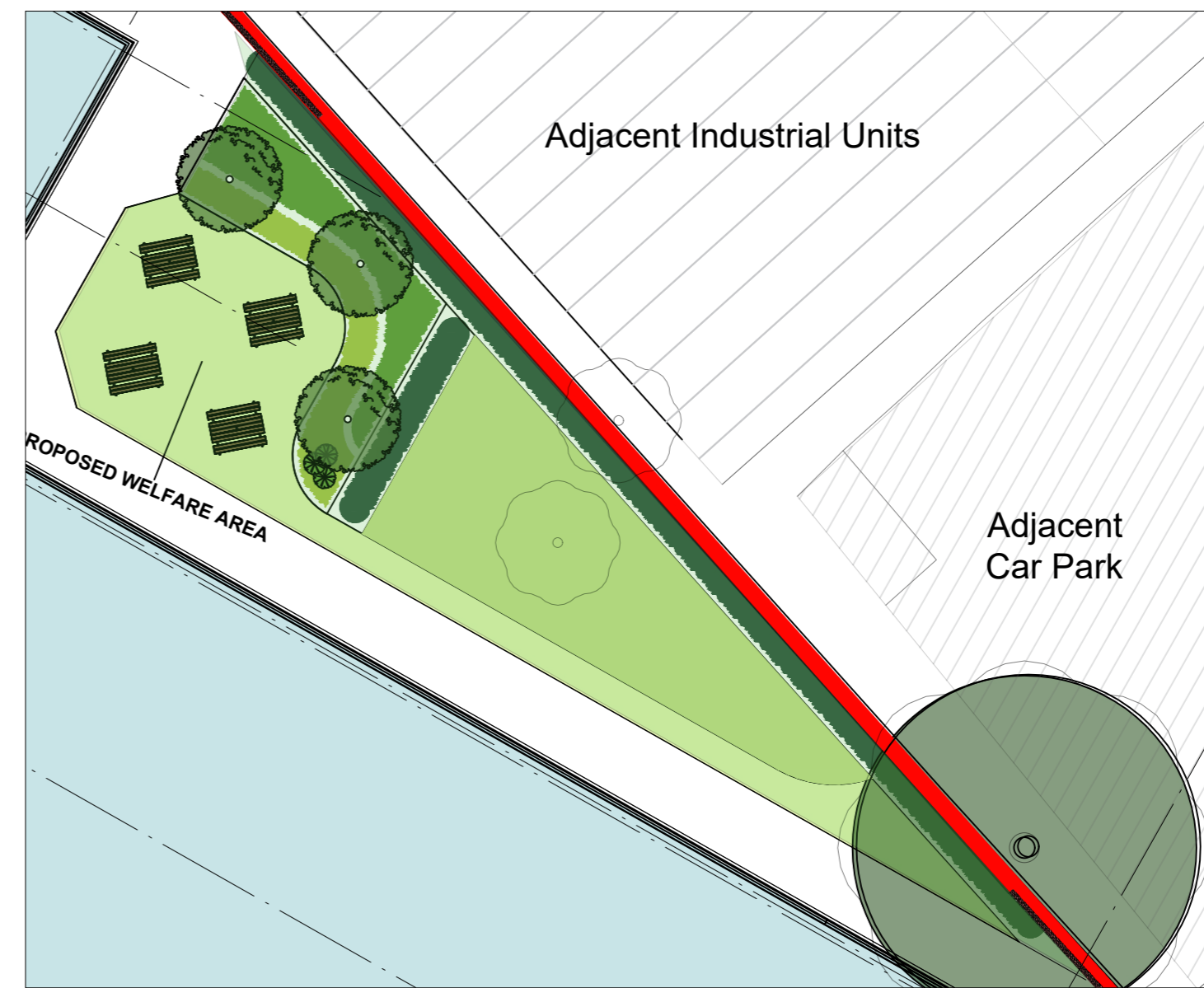
10m SCALE 1:500

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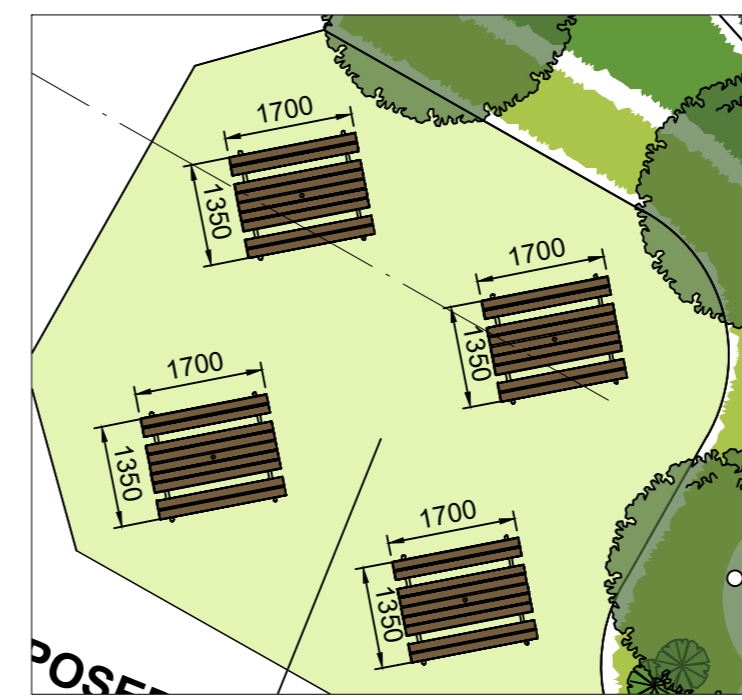
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Outside Space - Location Plan
 Scale 1:500

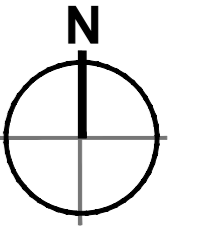


Outside Space with External Amenities Area
 Scale 1:200



Seating Allowance
 Scale 1:100

Denotes the location of outside space.
 Area: 244m²



CR1 Construction Record Issue	LK SW 27.08.24
rev amendments	by ckd date

Horton Road, Poyle,

Hea 07 - Outside space

Information Container LOD:	LOD 200
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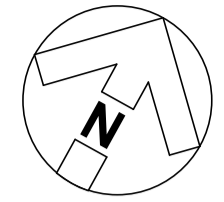


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RIBA PoW Stage:	2 - Concept Design
Document Suitability:	S01
Drawn / Checked:	SW / LK
Date:	24/05/2023
Scale:	As noted@ A2
UMC Project Number:	22400
Document Reference:	Drawing no: Revision:
P23025_UMC_EX_00_DR_A	1901 CR1

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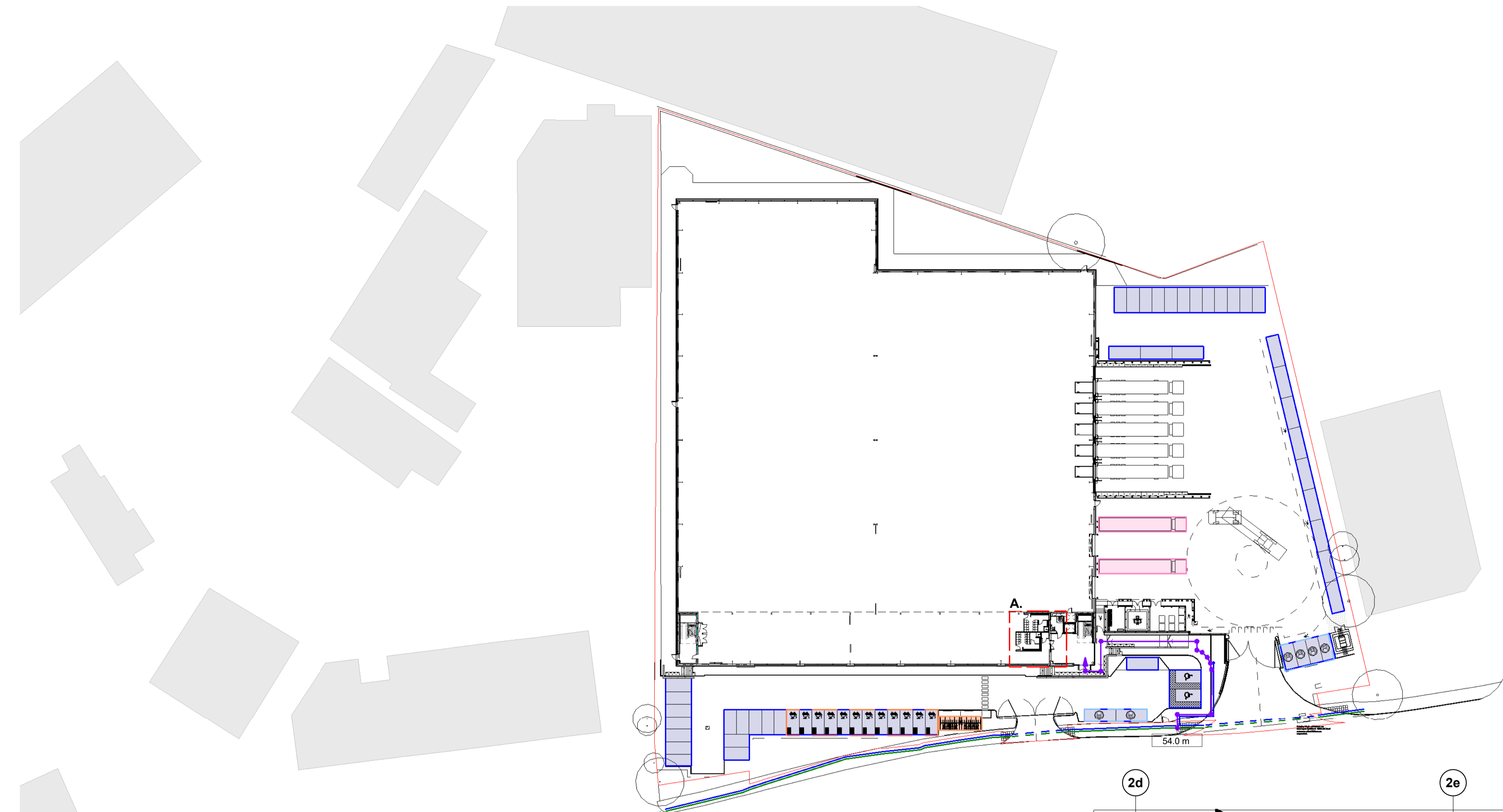


Key:

- Secure Cycle Parking
- HGV Vehicle Parking
- Staff/ Operational Car Parking
- Car Share Priority Parking Spaces
- EV Charging Spaces
- Pedestrian Route
- Cyclist Route
- Distance to Entrance
- Bus Stop

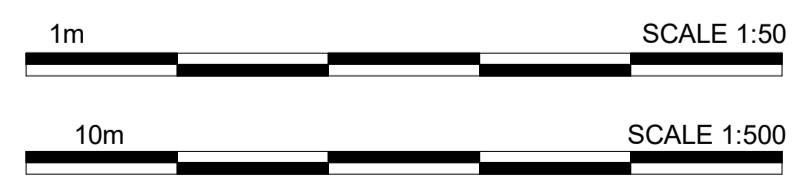
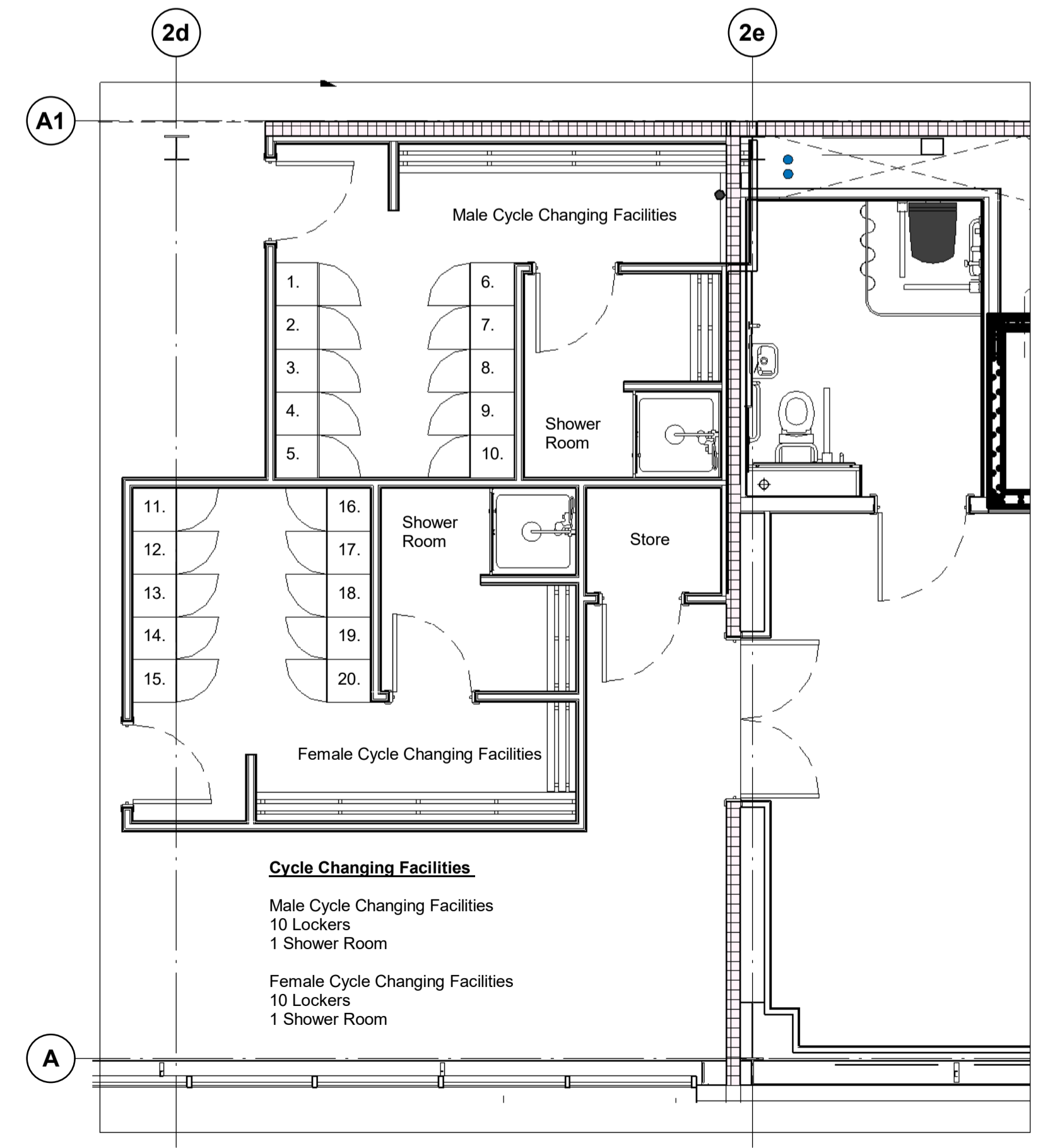
Car Parking Total

- Standard spaces	-	59
- Car share priority spaces	-	06
- Charging spaces	-	12
- Accessible spaces	-	02



Poyle, Golden Cross Roundabout

Transport Options Implementation
 1 : 500



Extract A - Future Cycle Facility Provision
 1 : 50

CR1	Construction Record Issue	LK	SW	27.08.24
P01	Initial Issue	SW	LK	20.02.24
rev	amendments	by	ckd	date

Horton Road, Poyle
 Tra 02 - Sustainable Transport Measures

Information Container LOIN	
LOD 2	LOI 2

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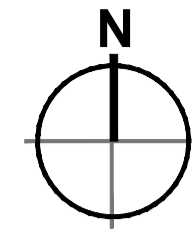


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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	12/05/23
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	Drawing no: Revision:
P23025_UMC_EX_00_DR_A_	1903 CR1

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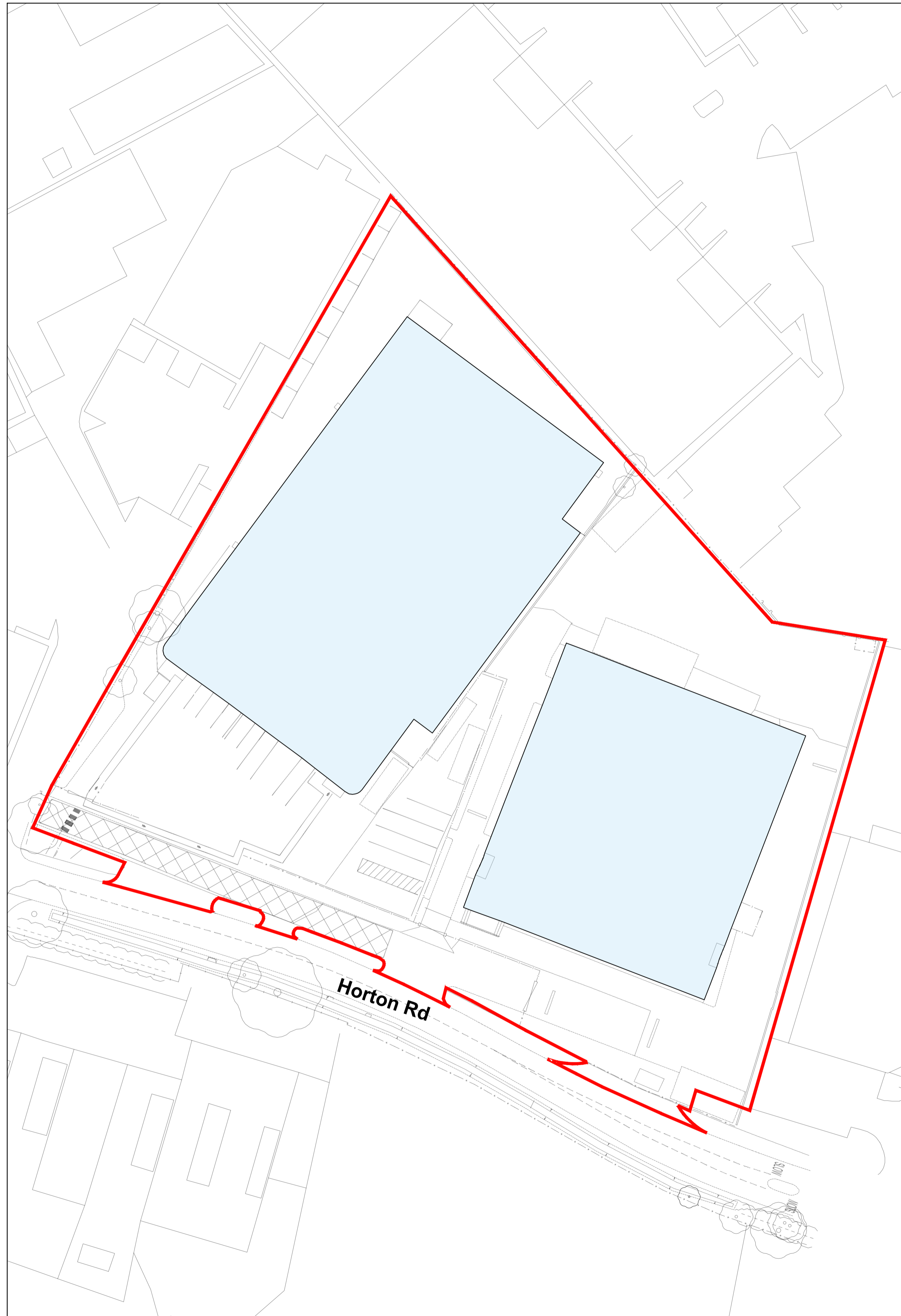
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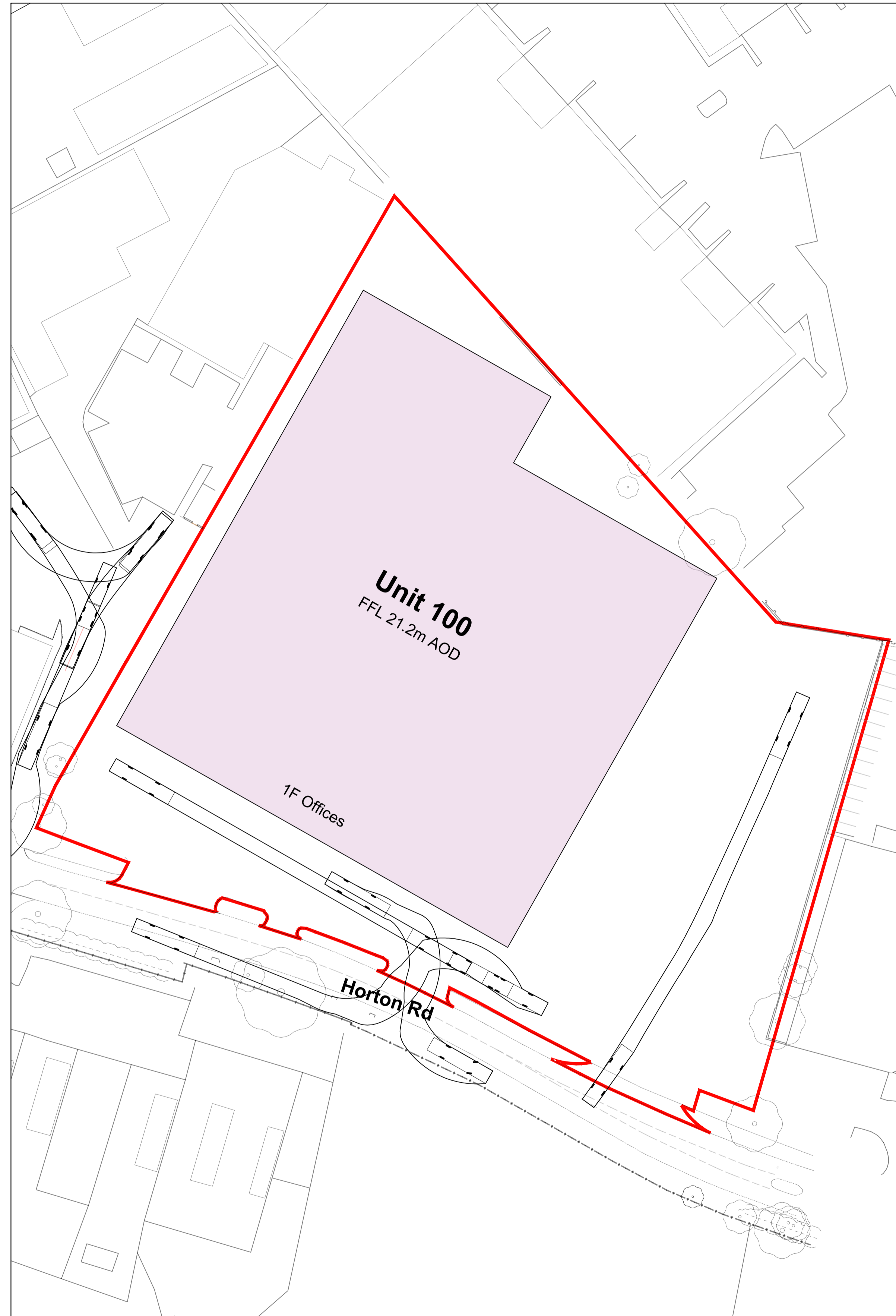
Site Area - 3.17 acres 1.28 ha

Existing Development Area - 5,690 sq m
 Proposed Development Area - 6,525 sq m

Percentage of previously occupied land
 88%



Existing Development
 Scale 1:500



Proposed Development
 Scale 1:500

CR1	Construction Record Issue	LK	SW	27.08.24
rev	amendments	by	ckd	date

Horton Road, Poyle,

LE 01 - Site Selection

Information Container LOD:	LOD 200
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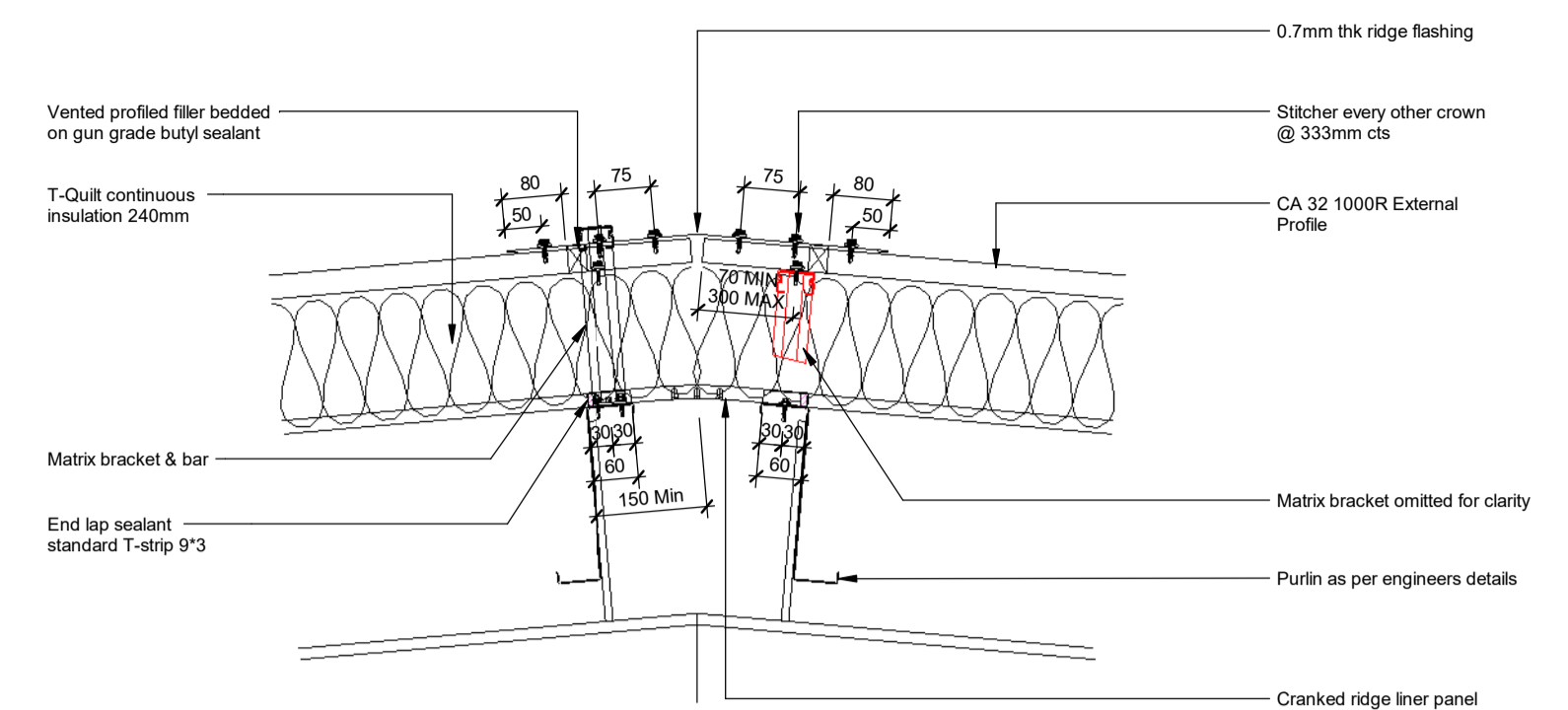
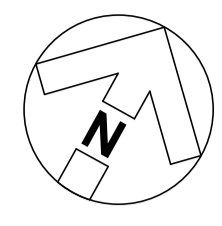
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RIBA PoW Stage:	2 - Concept Design
Document Suitability:	S01
Drawn / Checked:	SW / LK
Date:	22/05/2023
Scale:	1:500 A1
UMC Project Number:	22400
Document Reference:	Drawing no: Revision:
P23025_UMC_EX_00_DR_A	1904 CR1

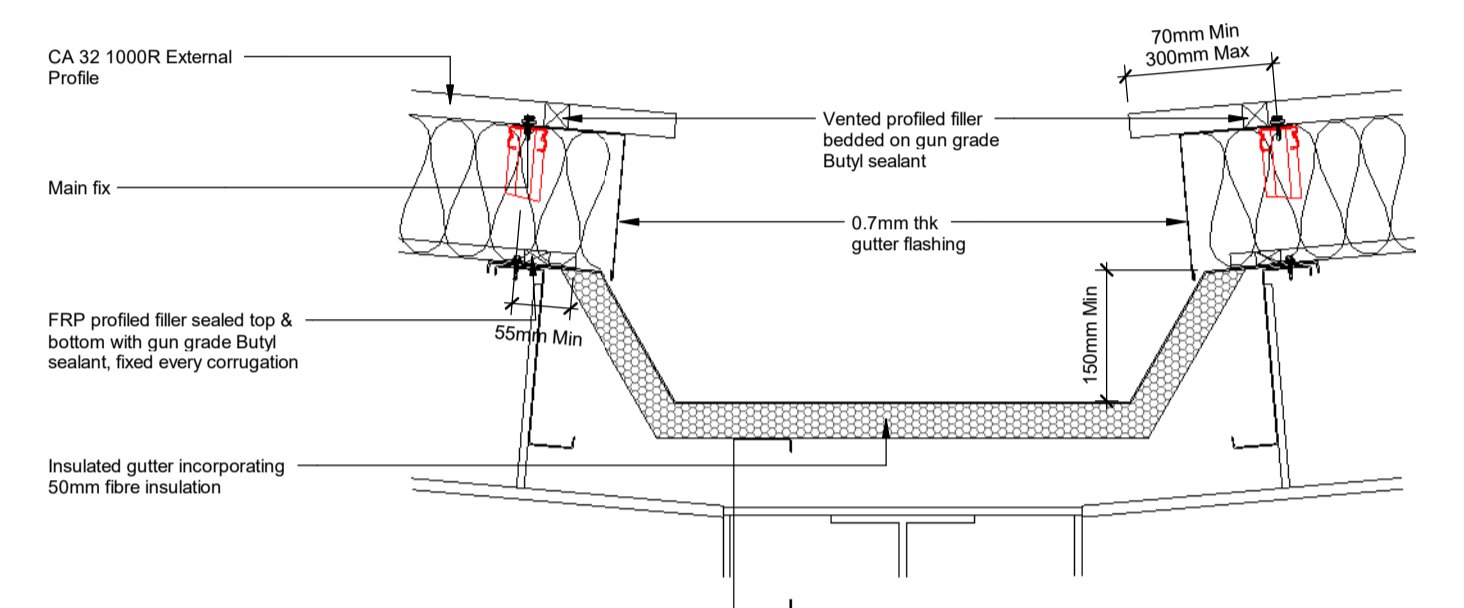
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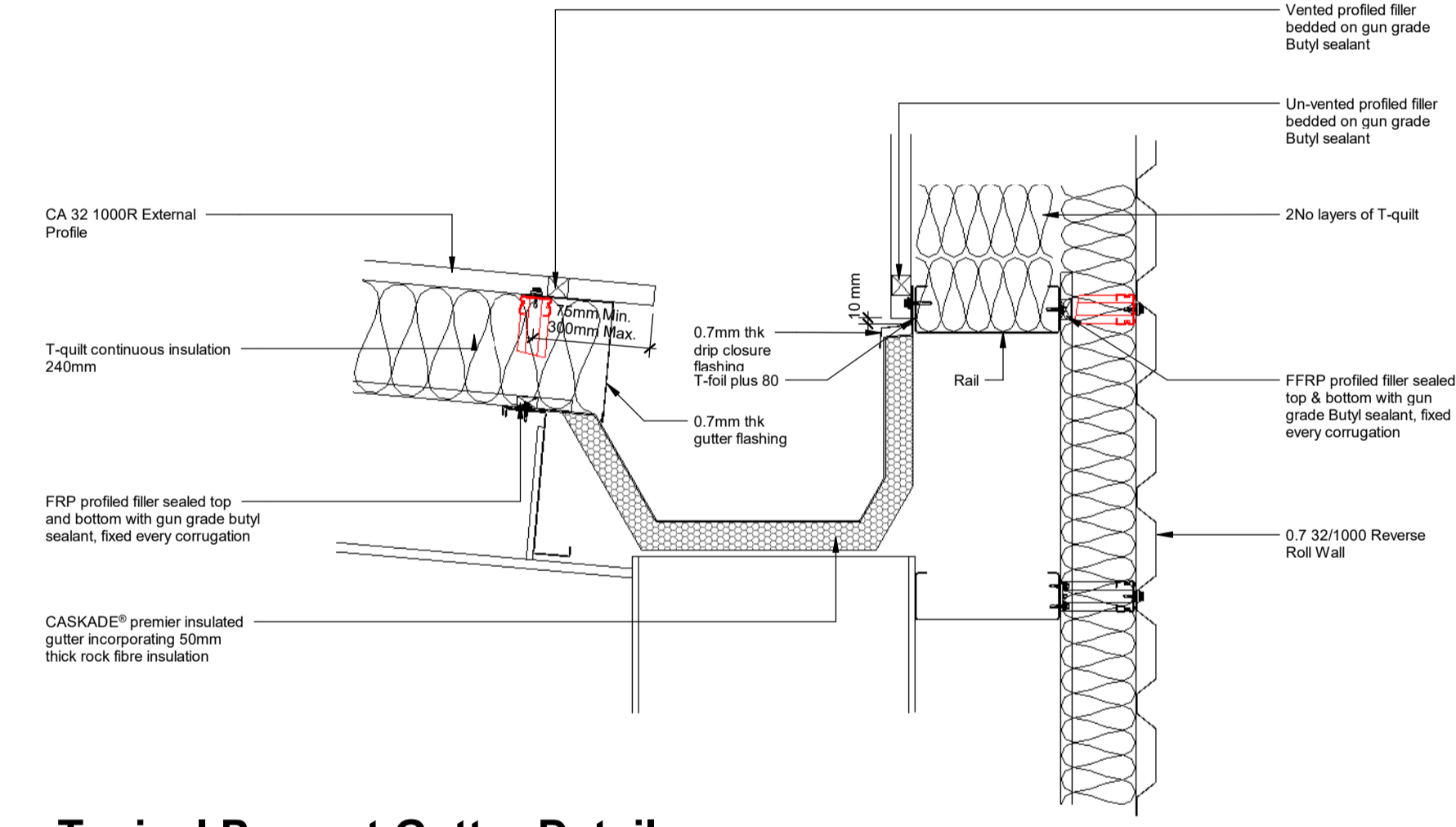
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Typical Ridge Detail
1:10



Typical Valley Gutter Detail
1:10



Typical Parapet Gutter Detail
1:10

CR1	Construction Record Issue	LK	SW	27.08.24
P01	Initial Issue	SW	LK	19.02.24
rev	amendments	by	ckd	date

Horton Road, Poyle
 Mat 05 - Designing for durability & resilience
 - Roof Access & Construction Details

Information Container LOIN	
LOD 2	LOI 2

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RIBA PoW Stage:	Stage 4 - Detailed Design
Suitability / Status:	CR
Drawn / Checked:	SW/LK
Date:	19/02/24
Scale:	As indicated @ A1
UMC Project Number:	22400
Document Reference:	P23025_UMC_EX_00_DR_A_1908
Drawing no:	1908
Revision:	CR1

MAT 05 - Roof Access
1:200

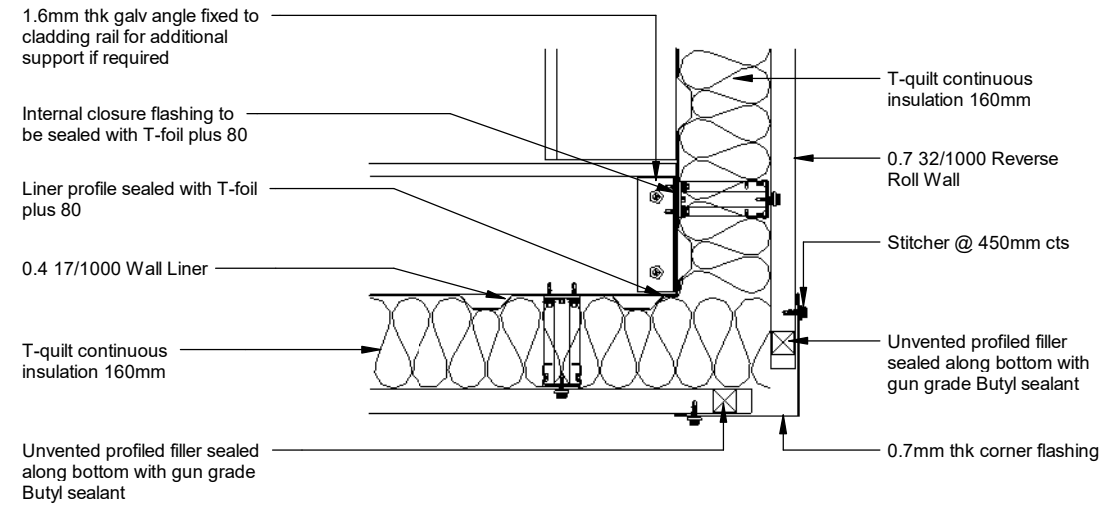


Roof Level Access Key:

- Representative of 250m² of roof mounted Solar PV installation. And 5m² of roof mounted Solar Thermal panels.
- Surespan SRHP/S20 Roof Hatch with Sureguard handrailing. Accessed via a ships ladder.
- Triple skinned GRP rooflight, with a 2.44kg/m (CE24) inner and a 1.83kg/m (CE18E) 'Quick Release' outer skin.
- Locations for roof egress
- Proposed locations for handrail attached to parapet or latchway system attached to roof sheet.

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Twin-Therm Wall Horizontal Laid External Wall Corner Detail
 1 : 10



CR1 Construction Record Issue
 P01 Initial Issue

LK SW 27.08.24
 SW LK 19.02.24

rev | amendments | by | ckd | date

Horton Road, Poyle

Mat 01 - Building life cycle assessment -
 Superstructure

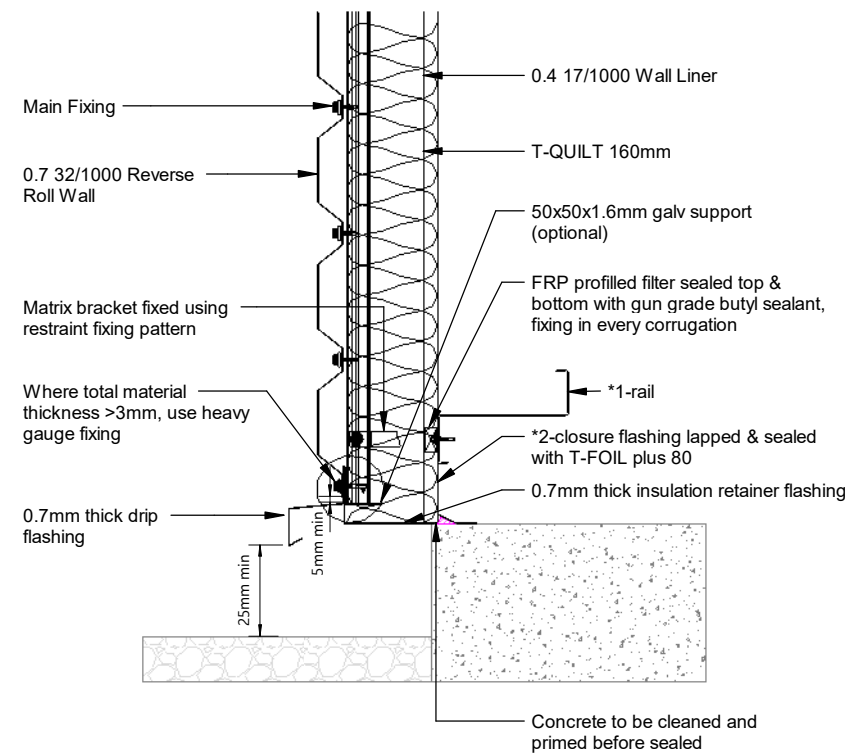
Information Container LOD:	LOD 200
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RIBA PoW Stage:	Stage 4 - Detailed Design	
Suitability / Status:	CR	
Drawn / Checked:	SW/LK	
Date:	19/02/24	
Scale:	1 : 10 @ A3	
UMC Project Number:	22400	
Document Reference:	Drawing no:	Revision:
P23025_UMC_BR_ZZ_DR_A_1907		CR1



Twin-Therm Wall Horizontal Laid External Wall
 1 : 10

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